

## FAX COVER SHEET

.

MAYOR PATRICIA C. LAMAR

BOARD OF ALDERMEN

JOHN MISTELIS WARD 1

PAGES:

DATE:

TO:

ERNEST (E.O.) OLIVER, JR. WARD II

> JANICE ANTONOW WARD III

MAYOR PROTEMPORE (COACH) ULYSSES HOWELL WARD IV

> KELLY ALLEN WARD V

> > DAVID MAGEE WARD VI

TOM SHARPE ALDERMAN-AT-LARGE

> CITY ATTORNEY F. EDWIN PERRY

DEPARTMENT HEADS

CITY CLERK & TAX COLLECTOR VIRGINIA H. CHRESTMAN

ELECTRIC DEPARTMENT SUPT. JOHNNY EARNEST

SOLID WASTE SUPERINTENDENT RANDY RUSSELL

> CHIEF OF POLICE STEPHEN D. BRAMLETT

FIRE CHIEF JERRY D. JOHNSON

PARK & RECREATION DIRECTOR **KLEB JOHNSON** 

> DIRECTOR PLANNING AND DEVELOPMENT BEN A. SMITH

**CITY SHOP FOREMAN** JAMES E. RAGON

PUBLIC WORKS DIRECTOR DAVID BENNETT

SUPT. OF BUILDINGS & GROUNDS BILLY LAMB

> THE CITY OF OXFORD **107 COURTHOUSE SQUARE OXFORD, MISSISSIPPI 38655** (601) 236-1310 FAX (601) 232-2337

, INCLUDING THIS FR SHEET.

-99 10-**2**9

FROM:

FAX NUMBER: 70-491-750

SUBJECT:

MESSAGE:

601-232-2306 FAX: 601-232-2319 TELEPHONE:



November 24, 1999

Mr. George Rummel Director of Planning and Development City of Oxford 107 Courthouse Square Oxford, MS 38655

#### **RE: Site Plan Amendment**

Dear Mr. Rummell:

I have delivered to your office the revised design and engineering plans for Oxford Marketplace.

As we discussed during our initial meeting, through much canvassing and meetings with big box retailers, I have not found an additional anchor tenant willing to commit to open a store within our center. This forces me to "down size" the project and build only an amount of retail space we believe can be leased.

I have changed the site plan to reflect a smaller amount of space originally approved by the City, however, by designing the site in this fashion it will allow me to add another anchor to the center without much disruption of this configuration.

I hope that you find this site plan acceptable.

If you have any questions, please give me a call. I will have our engineer contact Dave Bennett before our hearing to answer any of his questions.

Thank you.

Bestfregards, (

Charles T. Carter, Jr. Development Manager

JDN DEVELOPMENT COMPANY, INC. 359 E. Paces Ferry Road. NE Suite 450 Attonta. Georgia 30305 (404) 262-3252 Fax (404) 262-9543



265 NORTH LAMAR BLVD. SUITE T OXFORD, MS 38655 662.232.8887 WWW.ALMO.NET

7 November 2007

ARCHITECTURE PLANNING

> Mr. Randy Barber, Director Planning and Zoning Department City of Oxford 107 Courthouse Square Oxford, MS 38655

re: Barfield Office Building

Mr. Barber,

Please find enclosed a copy of the Construction Documents for Mr. Daniel Barfield's and Mr. Ray Garrett's Office building on Office Park Drive (next to the Pharmacy at the corner of south lamar and office park drive). They are submitted for building permit.

Please let me know if you or any department heads have questions or if we need to meet.

I appreciate your assistance. Please let me know when the permit is ready

Thanks,

Corey Almo Alger, Architect cc: Mr. Daniel Barfield that the developers would be willing to convert this unit into retain and other sector and TOBLCEN AN Other concerns expressed by the commissioners were selling these units to outsiders who would only be using these as a weekend home and also they would like to see some type of grocery store on the ground floor. aug 16, 1999

Commissioner Lawhead entered the meeting at 6:15.

There came on for discussion amended site plan approval for The Kroger Company, located on East University Avenue. Mr. Charles Carter of JDN Development Company explained that they were selected by Kroger to develop this property based on their experience and understanding of Oxford in the market place. He stated that the task was to create a marketplace environment through adding some additional retailers and creating a retail environment that they thought would succeed in Oxford. He stated that after many meetings with the board and discussing some of the changes along with gathering their input, they are now submitting a final site plan addressing these changes. He explained that they elected to create a strip center environment and utilize some of the additional land located on the property and the center will also include freestanding businesses on the parcels near the street. He stated that they added a second pedestrian walkway and they have moved the gas pumps from the parking lot to an out parcel. He stated that they took the landscape plan that the city approved and added additional landscaping and trees. He stated that they feel they will be able to lease this center if it is built in the fashion that it is now designed. They feel the need for standard pylon signs for the freestanding businesses and described the pylon signs as being an elevated sign off the ground. Commissioner Lawhead stated that a year ago the board approved a site plan that did not have gas pumps and questions why it is now essential and also is concerned with the lighting of the pumps. Mr. Carter explained that Kroger recently started a campaign to add fuel as part of their broad range of services and each of their stores must have fuel owned and operated by Kroger and he also explained that the lighting design will be recessed, the bulbs being a candle power of 5, will be no brighter than the lights used in the parking lots. Commissioner Barnes stated that in one of the working sessions it was discussed that the canopy should have the same architectural detail as in keeping with the rest of the shopping center and asked if there could be some type of decorative trim instead of a square metal canopy. Mr. Corban, engineer of The Kroger Company, stated that they would brick the poles up to the canopy and asked if it were possible to have decorative trim on the front and sides of the canopy, but on the rear side, facing the shopping center, still have metal so they can mount the Kroger logo. Commissioner Barnes stated that since the shopping center design has been amended that the board is not bound to go along with the sign that was previously approved. After much discussion regarding the concerns of the signs, motion was made by Commissioner Barnes, seconded by Commissioner Buchanan, with the understanding that there will be 4 signs: one being the shopping center? entrance sign with the exhibits attached indicating what it is, the sign to the west will be 6 feet high, the middle sign will be 10 feet high, and the sign to the east will be 15 feet and if at all possible they are to be i built with pylon or monument style bases that the face of the sign will be no greater than 40 square feet as the sign ordinance requires and the shopping center gas station will have a decorative trim on the front and sides of the canopy and the rear of the canopy will remain metal. All members present voting aye, the motion carried.

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At this time Chairman Devoe asked to table the sign ordinance and the Shopping Center Regulations. He stated that he feels the sign ordinance should be postponed until the Georgia Tech study has been completed. Mr. David Bennett suggested holding a special meeting for discussion of these ordinances only. Other members of the commission stated that a lot of work had already gone into this and they feel that it is a mistake to wait on Georgia Tech. They are ready to debate this among themselves and with the public and bring this to a closure. Aldermen Antonow stated that professional services are in the budget that can be used to hire a consultant. Chairman Devoe will find a consultant and report back to the commission at the next meeting. Chairman Devoe appointed Commissioner Baird and Commissioner Lawhead to a working committee on the Shopping Center Regulations.

There being no further business to come before the commission, the meeting adjourned at 8:20 p.m.

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November 24, 1999.

Mi George Rummel Director of Planning and Development City of Oxford 107 Courthouse Square Oxford, MS 38655

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thank you

Beshq

Charles T. Carter, Jr Development Manager

JDN DEVelopment Company, INC. 399 E. North Shiny Rock Inf. Suite 459 Africtor Geographics 10305 (404) 252 7052 Fox (404) 552 9525



February 22, 2000

Mr. George Rummel Director of Planning & Development City of Oxford 107 Courthouse Square Oxford, MS 38655

#### RE: Amended Landscape Plan Oxford Marketplace

Dear Mr. Rummel:

Thank you for your assistance in reviewing our landscape plan.

Per our conversation, our landscape design shall be the same as the enclosed plan. The change to the original design approved by the Planning Commission shall be replacing the Bermuda sod with Hydroseed near the on-ramp from University Dr. to Hwy. 7 north. The area designated for Bermuda sod are shown as such on the enclosed landscape plan.

In accordance with our discussion, this is acceptable to you and meets the City's approval.

Please call me if you have any questions, or if you would like to discuss this in more detail.

Thank you.

Best regards,

Charles T. Carter, Jr. Development Manager

cc: Jim Wiggins

enclosure

JDN DEVELOPMENT COMPANY, INC.

359 E. Paces Ferry Road. NE Suite 450 Atlanta. Georgia 30305 (404) 262-3252 Fax (404) 262-9543

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JUN 26 '98' 07:49AM ROBERTSON LOIA ROOF

# ROBERTSON / LOIA / ROOF A PROFESSIONAL CORPORATION ARCHITECTS AND ENGINEERS

# Facsimile Transmittal

Project Number: 98.250

To: Ben Smith

(601)232-2319 Fax

Re: OXFORD, MS., KROGER PYLON SIGN

From: Dave Pittard

2 pages transmitted, including cover sheet

Date: June 26, 1998

no.	date	description
1	6/26/98	RIVISED PYLON PER YOUR (6-25-98) FAX SIGNAGE & E.I.F.S. PATTERN DIMENSIONS

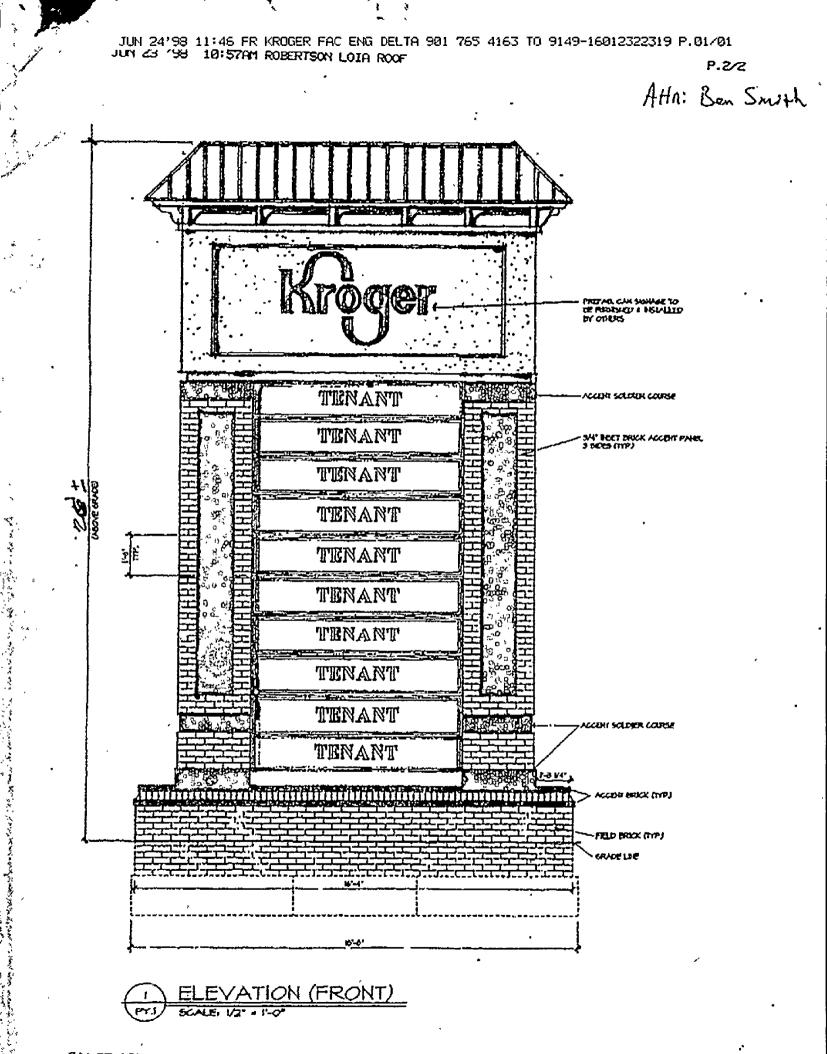
Remarks:

FOR YOUR REVIEW & COMMENTS

Copies to: File

5780 PEACHTREE DUNWOODY ROAD SUITE 195 ATLANTA, GEORGIA 30342 Phone (404) 257-9790 Fax (404) 851-1732

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# NOV-29 99 NOI 12:40 PM JDH REALTY

FAX NC. 4042629543

# JDN

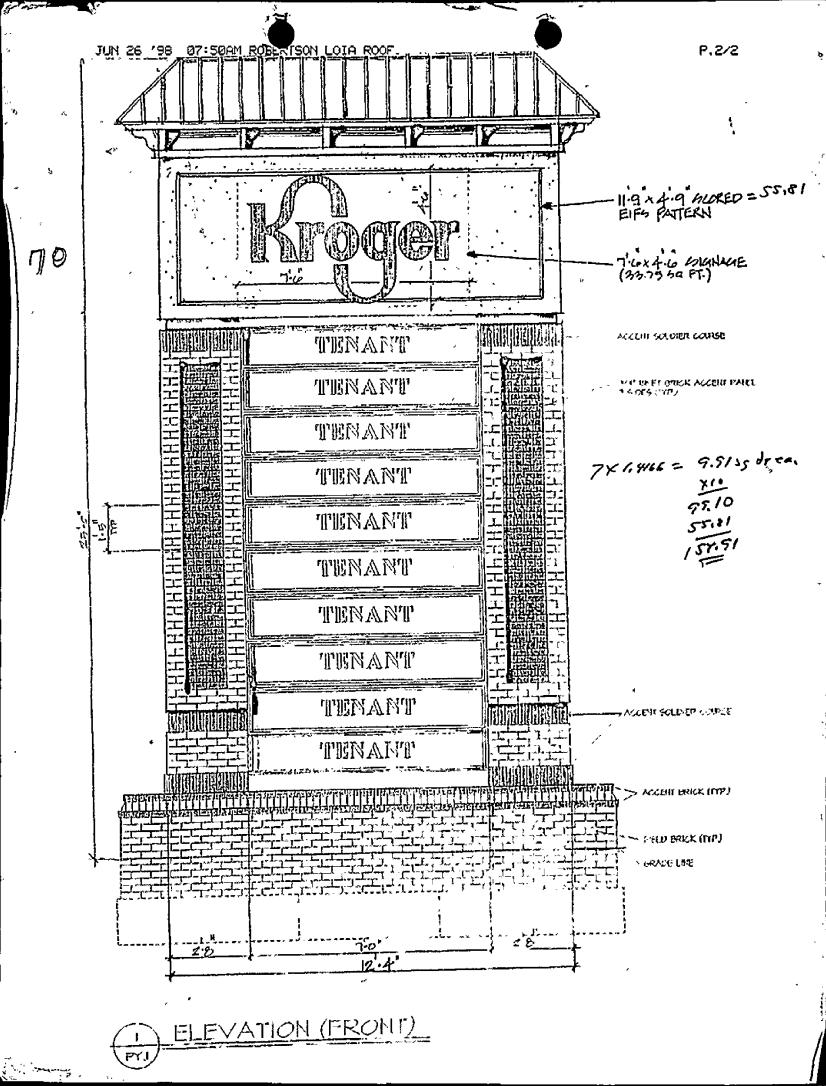
FACS	SIMILE TRANSMITTAL SHEET
DATE:	11/29/99
TO:	George Rummel
COMPANY:	City of Oxford
FAX NO.:	662-232-2319
FROM:	Charles Carter
RE:	Oxford morketplace
NUMBER OF P	AGES TRANSMITTED
COMMENTS:	
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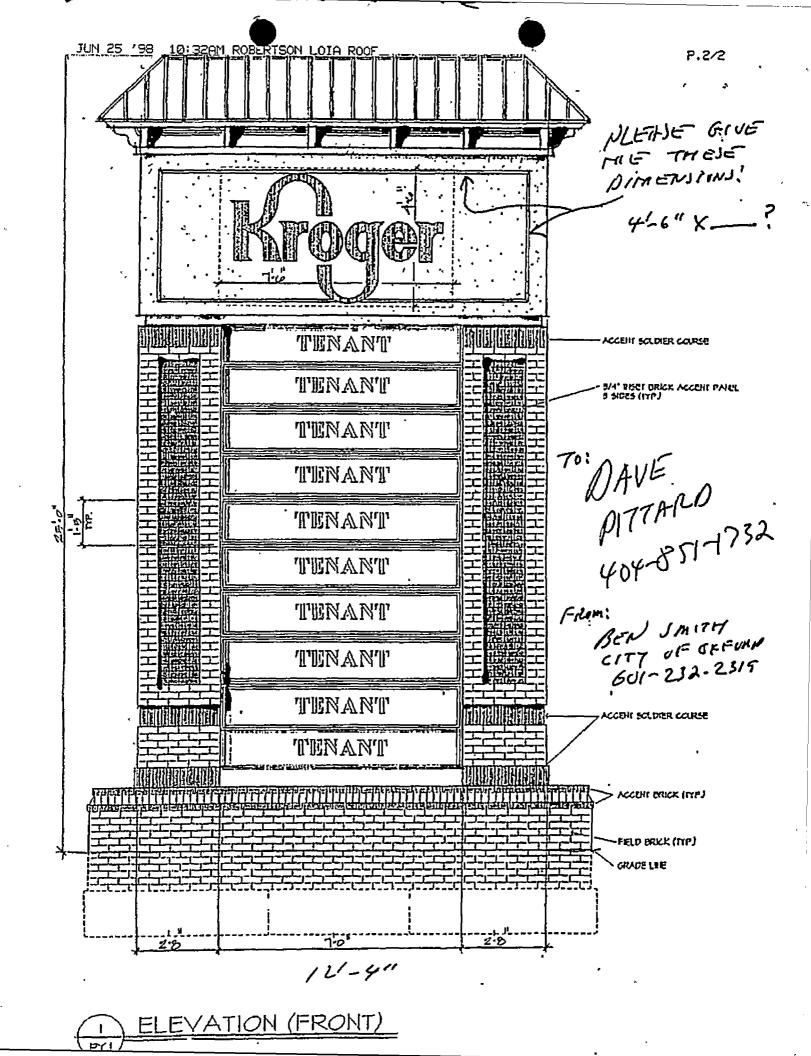
#### IF YOU HAVE ANY QUESTIONS CONCERNING THIS FAX OR PROBLEMS RECEIVING THIS FAX, PLEASE CALL, 404/262-3252

<u>CONFIDENTIALITY NOTE</u>. The information in this focultifie message is legally privileged and confidential information intended for only the use of the individual or entity haved above. If the reader of this message is not the interded recipient, you are hereby notified that any use distribution on copy of this telecopy is strictly brohibited. If you have received this telecopy in error, please immediately notify us by telephone and return the original message to us of the address ubove we the United States Postal Service.

### JDN DFVELOPMENT COMPANY, INC.

359 F. Paces Ferry Road, NF Suite 450 Atlanta, Georgia: 30305 Phone # 404/262-3252 - Fax # 404 262-9543





# ROBERTSON / LOIA / ROOF A PROFESSIONAL CORPORATION ARCHITECTS AND ENGINEERS

# Facsimile Transmittal

Project Number 98,250

Date Lure 25, 1998

To: Ben Smith

#### Re: OXFORD, MS., KROGER PYLON SIGN

From: Dave Pittard

2 pages transmitted including cover sheet

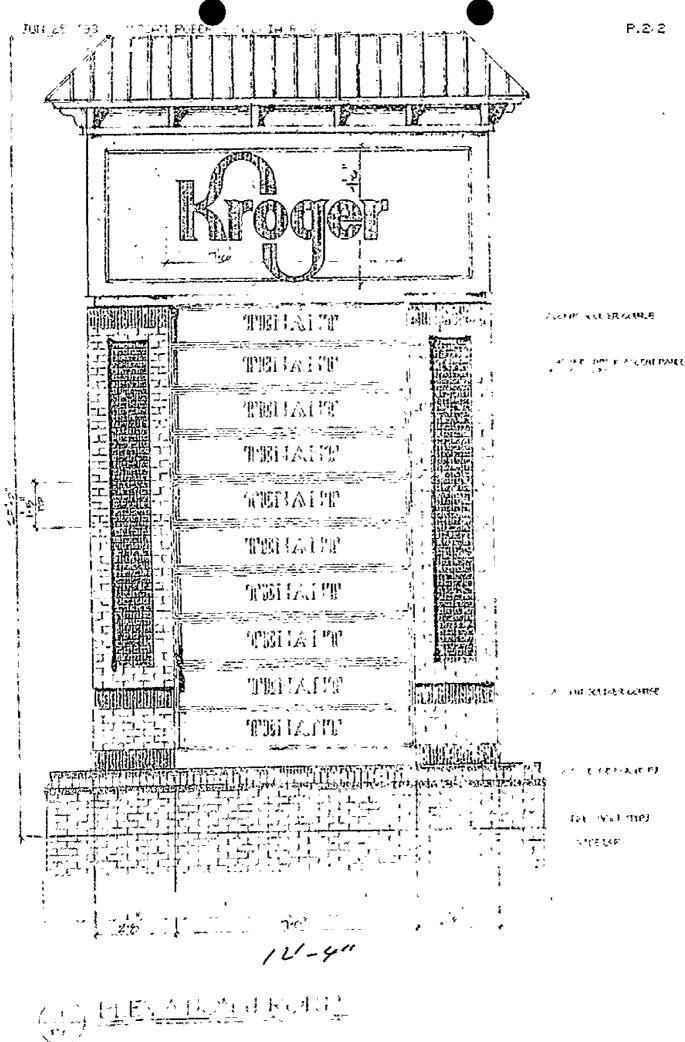
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Remarks<sup>\*</sup>

FOR YOUR REVIEW & COMMENTS

Copies to: File

P.1/2





ANDREW K. HOWORTH

TELEPHONE (601) 234-0900 TELEFAX (601) 234-3557

May 7, 1998

Mr. Ben Smith City Hall 107 South Lamar Boulevard Oxford, Mississippi 38655

Re: Kroger Site Plan Approval

Dear Ben:

Please accept this letter as our request that the site plan approval scheduled for the Kroger application before the Planning Commission on May  $11^{th}$  be postponed until the next regular monthly meeting. As I discussed with you on the telephone, there are some final matters to be worked out and some amendments necessary to the site plan which has been submitted to you.

Our intention is to have all of these matters in order and ready for presentation at the June 8<sup>th</sup> meeting.

Thank you for your assistance in this matter. Please let me know if there is any problem with this request.

Sincerely yours,

HOWORTH LAW FIRM, P.A

ANDREW K. HOWORTH

AKHIG

cc: Mr. Corbin Rowe



#### DELTA MARKETING AREA 800 RIDGE LAKE BLVD. + P.O. BOX 1878 + MEMPHIS, TENNESSEE 38101-1878

May 11, 1998

City of Oxford 107 Courthouse Square Oxford, MS 38655

#### Re: Board of Aldermen Meeting

Gentlemen:

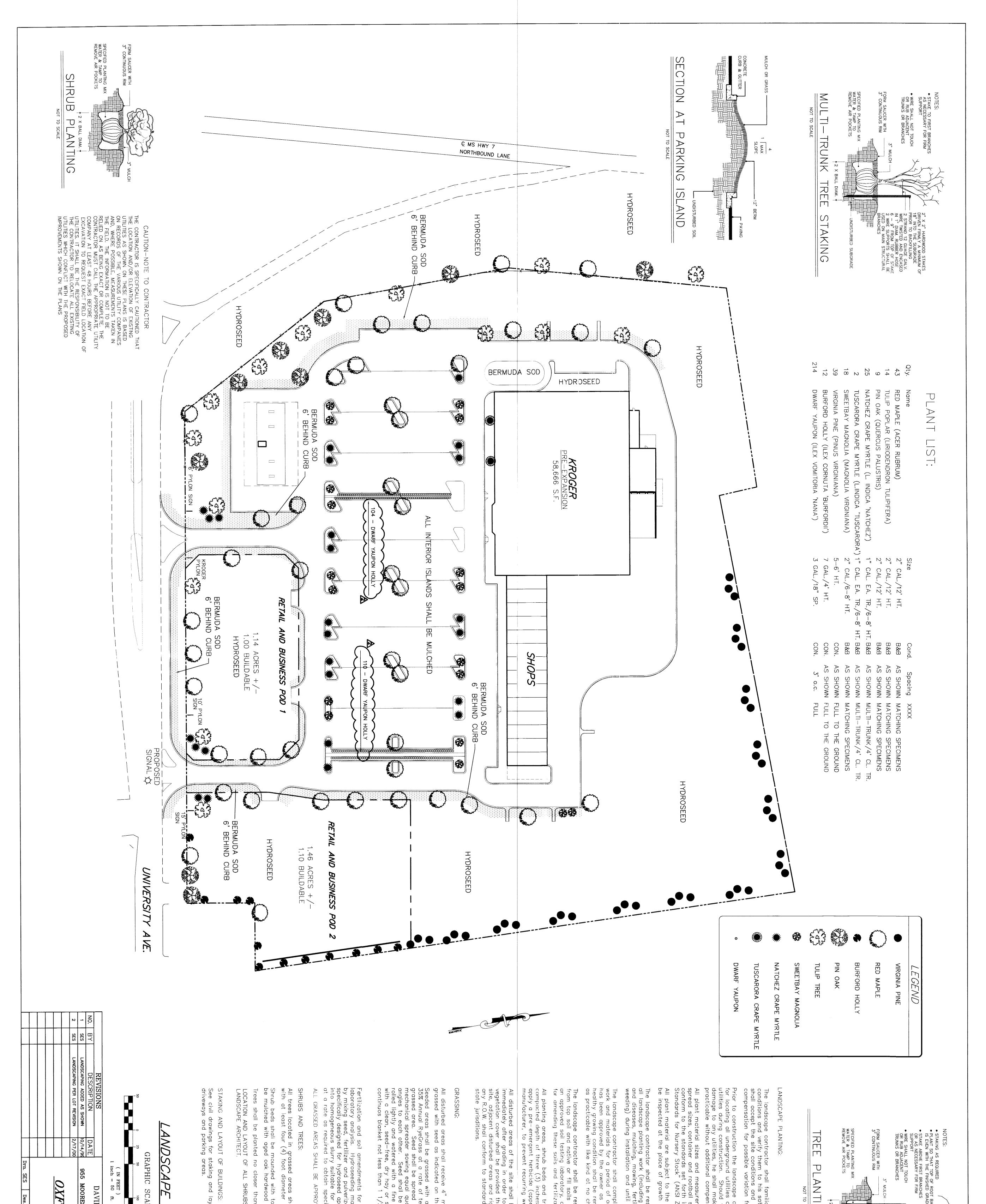
Please remove Kroger from your agenda for the Board of Aldermen meeting tonight, May 11th, 1998. We will reschedule for a future date.

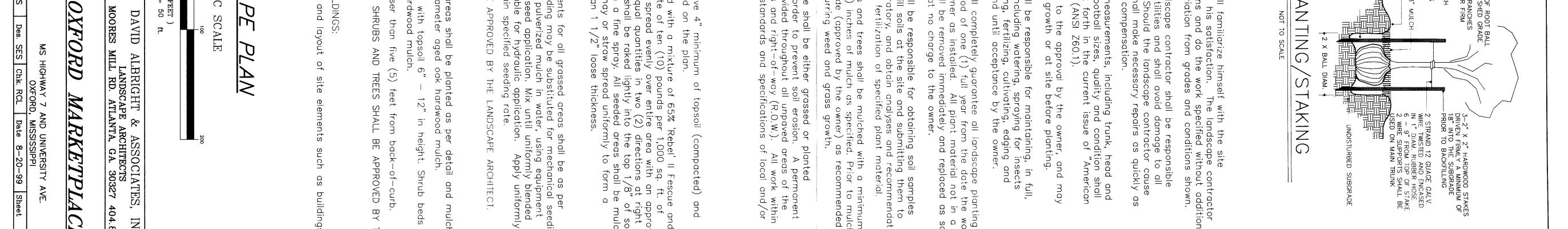
Sincerely,

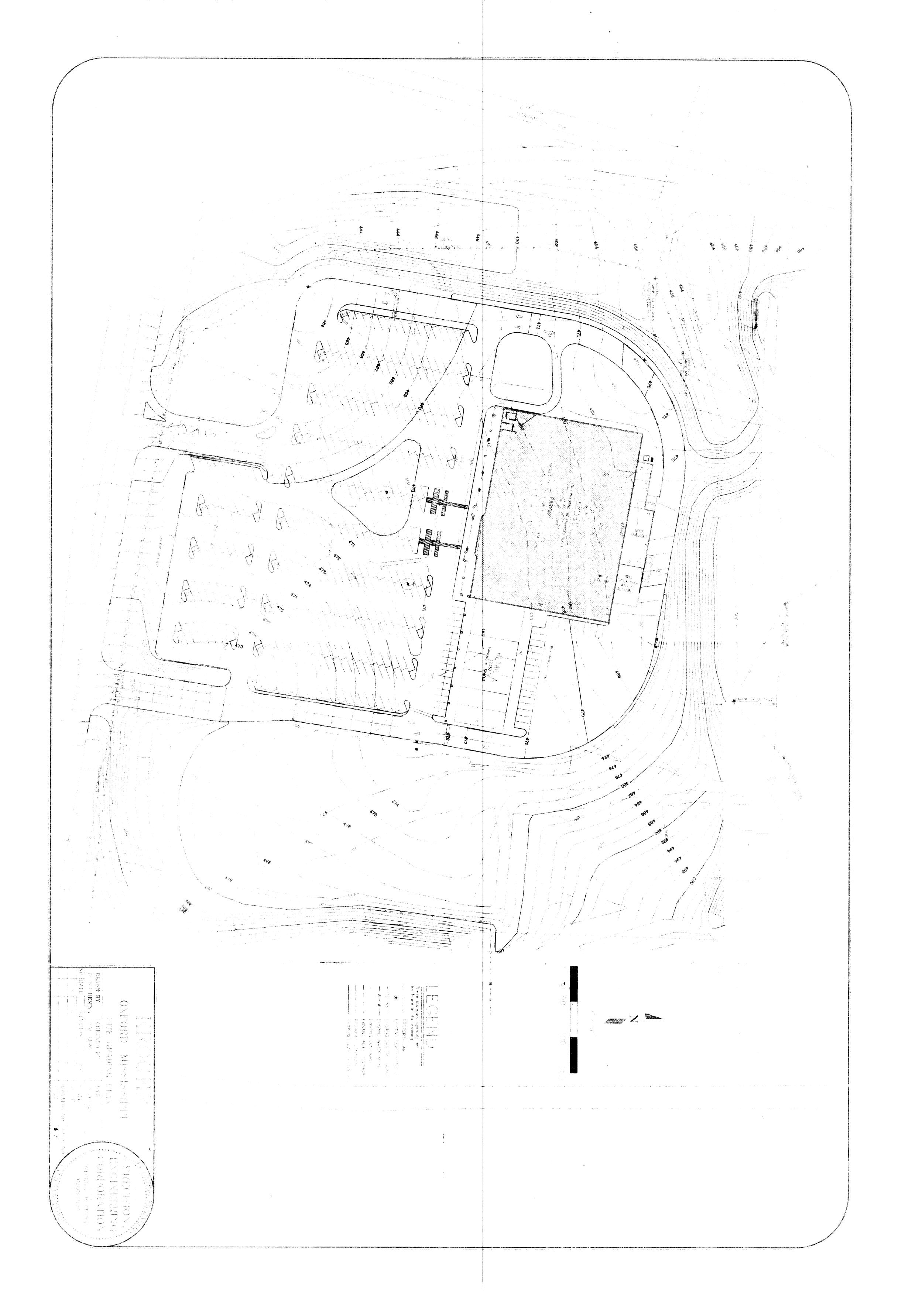
Byon Sach

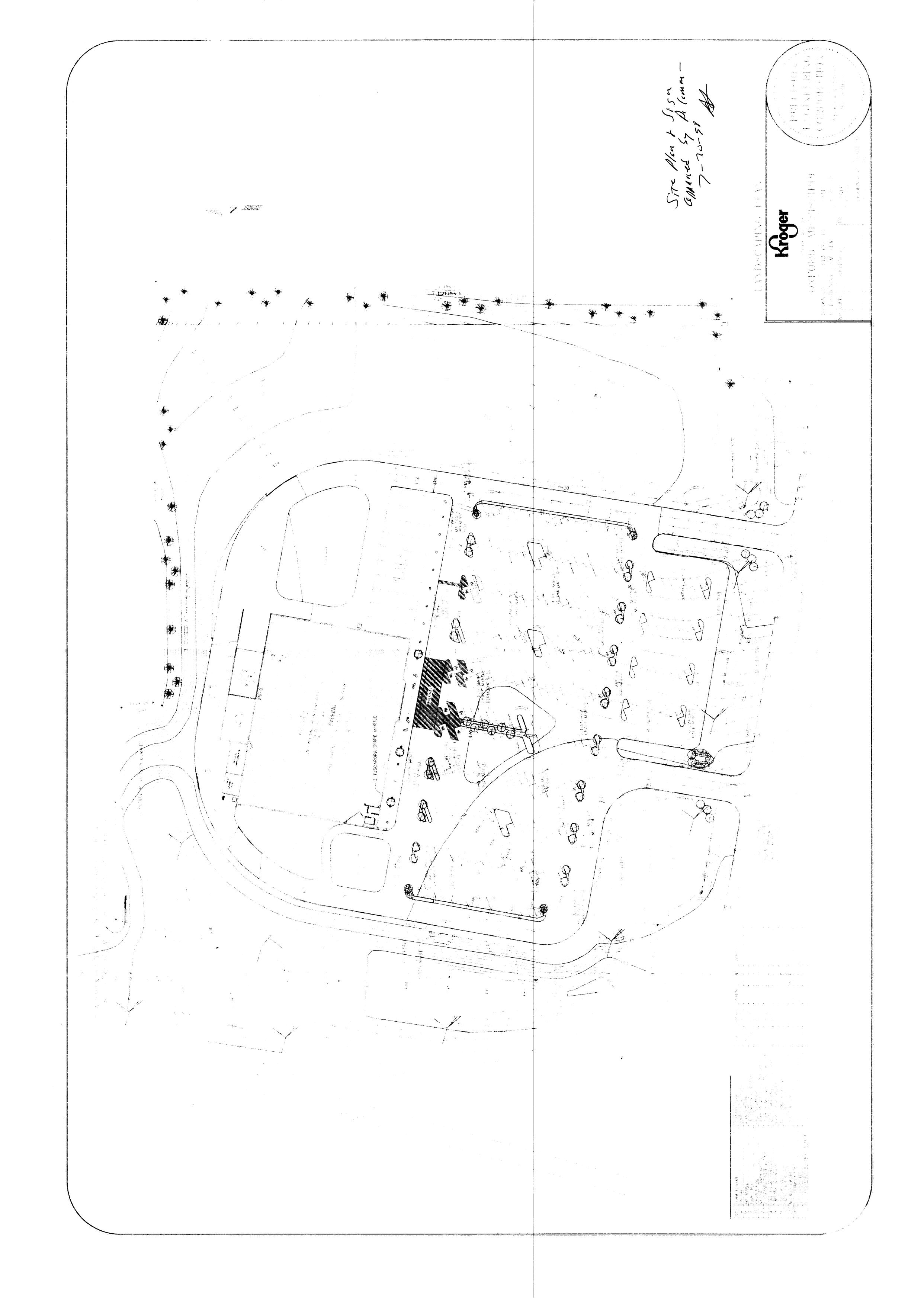
Bryan Novak FacilityEngineer

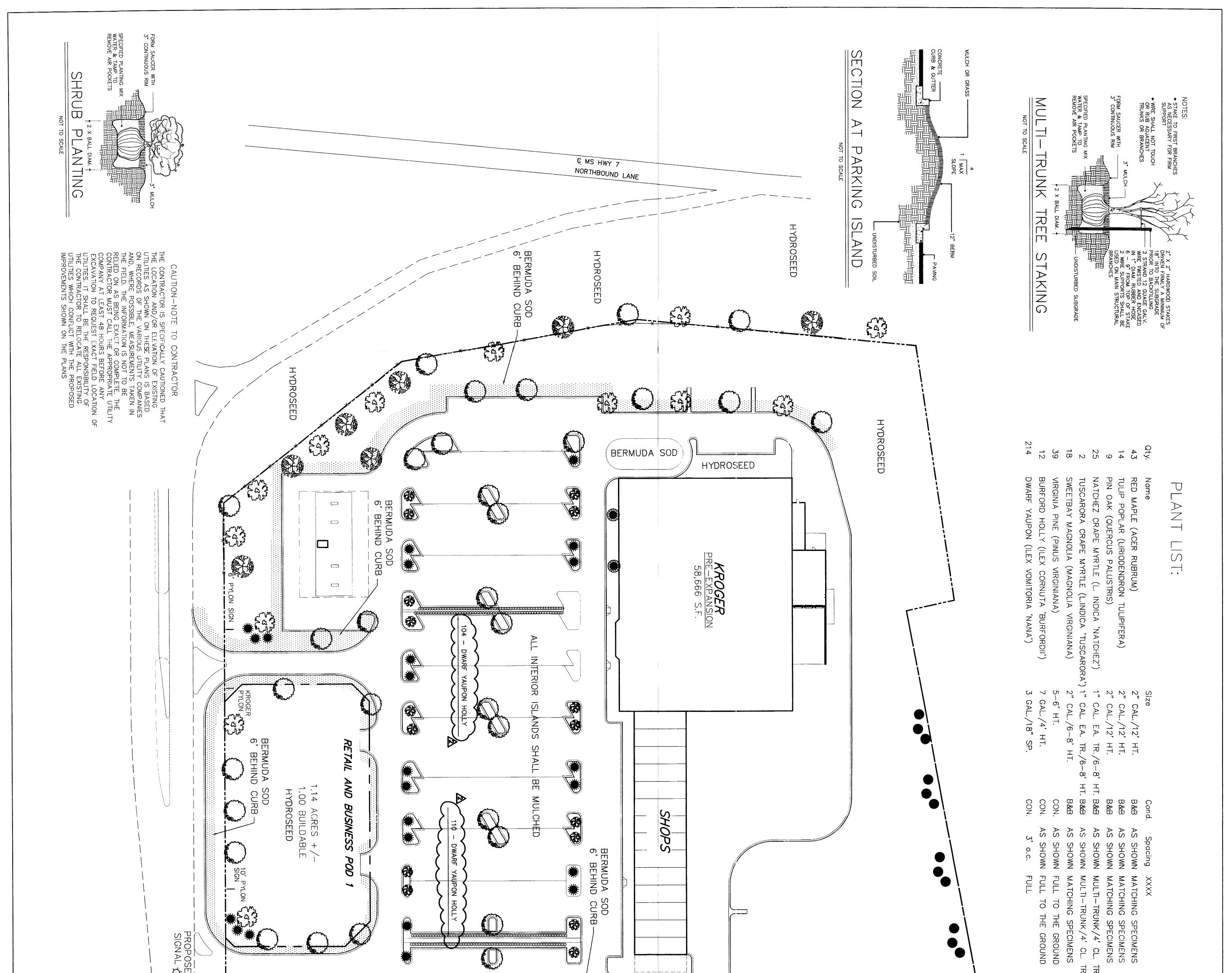
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FIGURE CURE 6' BEHIND CURE 6' BEHIND CURE 6' BEHIND CURE 1.16 ACRES +/- 1.10 BUILDABLE CURE	RETAIL AND BUSINESS POD 2 RETAIL AND BUSINESS POD 2 HYDROSEED H	HYDROSEED	HUDBOSEED RETAIL AND BUSINESS POD Z HUDBOSEED HUDBOS	HINDROSEED RETAIL AND BUSINESS POD Z 1.46 ACRES + /- 1.10 BULDABLE BERNUEA SCO 6' BEHNIO CURE 1.10 BULDABLE 1.10 BULDAB	HUDROSEED RETAIL AND BUSINESS POD Z I.146 ACRES + 1- I.15 BUILDAE BEENNIDA SCO B' BEHNIND CURL I.15 BUILDAE I.15 BUILDAE	RETAIL AND BUSINESS POD Z RETAIL AND BUSINESS POD Z HIDPROSEED BEENNUO CURU BY BEHNIO CURU BY BY B
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HYDROSEED HYDROSEED 6' BEHND CURB	HYDROSEED HYDROSEED 6' BEHIND CURB	HYDROSEED REFAIL AND BUSINESS POD Z HYDROSEED BEHIND CURB G' BEHIND CURB	HYDROSEED RETAIL AND BUSINESS POD Z 1.46 ACRES + /- 1.10 BUILDABLE BERMUDA SOO 6' BEHIND CURB UNIVERSITY AVE. <u>Not fer university</u>	HYDROSEED HYDROSEED HYDROSEED HYDROSEED UNIVERSITY AVE. UNIVERSITY AVE. NOVERSITY AVE. HYDROSEED HYDRO	HYDROSEED HYDROSEED	HIDPROSEED HIDPRO
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RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE HYDROSEED 6' BEHIND CURB	RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE HYDROSEED 6' BEHIND CURB	RETAIL AND BUSINESS POD 2 1.16 ACRES +/- 1.10 BUILDABLE BERMUDA SOD 6' BEHIND CURB	RETAIL AND BUSINESS FOD 2 1.46 ACRES +/- 1.10 BUILDABLE HINDROSEED G' BEHIND CURB UNIVERSITY AVE <u>NVIVERSITY AVE</u>	RETAIL AND BUSINESS POD Z 1.45 ACRES +/- 1.10 SULDABLE HYDROSEED WIVERSITY AVE UNIVERSITY AVE 1.15 SULDABLE UNIVERSITY AVE 1.15 SULDABLE NOVERSITY AVE	RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDALE WIVERSITY AVE UNIVERSITY AVE NO 1 1 1 1 1 1 1 1 1 1 1 1 1	RETAIL AND BUSINESS POD Z 1.46 ACRES + / 1.10 BULDABLE BERMUDA SOD 6' BEHIND CURB 1' BEHI
RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE 6' BEHIND CURB	RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE HYDROSEED 6' BEHIND CURB	RETAIL AND BUSINESS POD Z 1.1.6 ACRES +/- 1.1.0 BUILDABLE HYDROSEED BEFNIND CURB	RETAIL AND BUSINESS POD 2 1.46 ACRES +/- 1.10 BUILDABLE HYDROSEED G' BEHIND CURB G' BEHIND CURB NIVLERSITY AVE NO T T T T T T T T T T T T T	RETAIL AND BUSINESS POD 2 1.46 ACRES +/- 1.10 BUIDABLE WIVERSITY AVE. WIVERSITY AVE. VINCERSITY AVE.	RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE HYDROSEED 6' BEHIND CURB 6' BEHIND CURB 1' 10 BUILDABLE 1' 1' 1' 1' 1' 1' 1' 1' 1' 1' 1' 1' 1' 1	RETAIL AND BUSINESS POD Z 1.46 ACRES +/- 1.10 BUILDABLE WIVERSITY AVE UNIVERSITY AVE UNIVERSITY AVE
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