



OXFORD

**FAX COVER SHEET**

MAYOR  
PATRICIA C. LAMAR

BOARD OF ALDERMEN

JOHN MISTELIS  
WARD I

ERNEST (E.O.) OLIVER, JR.  
WARD II

JANICE ANTONOW  
WARD III

MAYOR PROTEMPORE  
(COACH) ULYSSES HOWELL  
WARD IV

KELLY ALLEN  
WARD V

DAVID MAGEE  
WARD VI

TOM SHARPE  
ALDERMAN-AT-LARGE

CITY ATTORNEY  
F. EDWIN PERRY

DEPARTMENT HEADS

CITY CLERK & TAX COLLECTOR  
VIRGINIA H. CHRESTMAN

ELECTRIC DEPARTMENT SUPT.  
JOHNNY EARNEST

SOLID WASTE SUPERINTENDENT  
RANDY RUSSELL

CHIEF OF POLICE  
STEPHEN D. BRAMLETT

FIRE CHIEF  
JERRY D. JOHNSON

PARK & RECREATION DIRECTOR  
KLEB JOHNSON

DIRECTOR PLANNING  
AND DEVELOPMENT  
BEN A. SMITH

CITY SHOP FOREMAN  
JAMES E. RAGON

PUBLIC WORKS DIRECTOR  
DAVID BENNETT

SUPT. OF BUILDINGS & GROUNDS  
BILLY LAMB

THE CITY OF OXFORD  
107 COURTHOUSE SQUARE  
OXFORD, MISSISSIPPI 38655  
(601) 236-1310  
FAX (601) 232-2337

PAGES: 3 INCLUDING THIS  
COVER SHEET.

DATE: 10-20-99

TO: Scott Samuel

FROM: City of Oxford  
Planning & Development

FAX NUMBER: 770-491-7750

SUBJECT: Kroger Sign

MESSAGE: \_\_\_\_\_

TELEPHONE: 601-232-2306 FAX: 601-232-2319



November 24, 1999

Mr. George Rummel  
Director of Planning and Development  
City of Oxford  
107 Courthouse Square  
Oxford, MS 38655

**RE: Site Plan Amendment**

Dear Mr. Rummell:

I have delivered to your office the revised design and engineering plans for Oxford Marketplace.

As we discussed during our initial meeting, through much canvassing and meetings with big box retailers, I have not found an additional anchor tenant willing to commit to open a store within our center. This forces me to "down size" the project and build only an amount of retail space we believe can be leased.


I have changed the site plan to reflect a smaller amount of space originally approved by the City, however, by designing the site in this fashion it will allow me to add another anchor to the center without much disruption of this configuration.

I hope that you find this site plan acceptable.

If you have any questions, please give me a call. I will have our engineer contact Dave Bennett before our hearing to answer any of his questions.

Thank you.

Best regards,

  
Charles T. Carter, Jr.  
Development Manager

JDN DEVELOPMENT COMPANY, INC.

359 E. Paces Ferry Road, NE  
Suite 450  
Atlanta, Georgia 30305  
(404) 262-3252  
Fax (404) 262-9543



ALGER DESIGN STUDIO, P.A.

265 NORTH LAMAR BLVD.  
SUITE T  
OXFORD, MS 38655  
662.232.8887  
WWW.ALMO.NET

ARCHITECTURE  
PLANNING

7 November 2007

Mr. Randy Barber, Director  
Planning and Zoning Department  
City of Oxford  
107 Courthouse Square  
Oxford, MS 38655

re: Barfield Office Building

Mr. Barber,

Please find enclosed a copy of the Construction Documents for Mr. Daniel Barfield's and Mr. Ray Garrett's Office building on Office Park Drive ( next to the Pharmacy at the corner of south lamar and office park drive). They are submitted for building permit.

Please let me know if you or any department heads have questions or if we need to meet.

I appreciate your assistance. Please let me know when the permit is ready

Thanks,

Corey Almo Alger, Architect

cc: Mr. Daniel Barfield

that the developers would be willing to convert this unit into retail and grocery stores as well. Other concerns expressed by the commissioners were selling these units to outsiders who would only be using these as a weekend home and also they would like to see some type of grocery store on the ground floor.

Commissioner Lawhead entered the meeting at 6:15.

Aug 16, 1999

\* \* \*

There came on for discussion amended site plan approval for The Kroger Company, located on East University Avenue. Mr. Charles Carter of JDN Development Company explained that they were selected by Kroger to develop this property based on their experience and understanding of Oxford in the market place. He stated that the task was to create a marketplace environment through adding some additional retailers and creating a retail environment that they thought would succeed in Oxford. He stated that after many meetings with the board and discussing some of the changes along with gathering their input, they are now submitting a final site plan addressing these changes. He explained that they elected to create a strip center environment and utilize some of the additional land located on the property and the center will also include freestanding businesses on the parcels near the street. He stated that they added a second pedestrian walkway and they have moved the gas pumps from the parking lot to an out parcel. He stated that they took the landscape plan that the city approved and added additional landscaping and trees. He stated that they feel they will be able to lease this center if it is built in the fashion that it is now designed. They feel the need for standard pylon signs for the freestanding businesses and described the pylon signs as being an elevated sign off the ground. Commissioner Lawhead stated that a year ago the board approved a site plan that did not have gas pumps and questions why it is now essential and also is concerned with the lighting of the pumps. Mr. Carter explained that Kroger recently started a campaign to add fuel as part of their broad range of services and each of their stores must have fuel owned and operated by Kroger and he also explained that the lighting design will be recessed, the bulbs being a candle power of 5, will be no brighter than the lights used in the parking lots. Commissioner Barnes stated that in one of the working sessions it was discussed that the canopy should have the same architectural detail as in keeping with the rest of the shopping center and asked if there could be some type of decorative trim instead of a square metal canopy. Mr. Corban, engineer of The Kroger Company, stated that they would brick the poles up to the canopy and asked if it were possible to have decorative trim on the front and sides of the canopy, but on the rear side, facing the shopping center, still have metal so they can mount the Kroger logo. Commissioner Barnes stated that since the shopping center design has been amended that the board is not bound to go along with the sign that was previously approved. After much discussion regarding the concerns of the signs, motion was made by Commissioner Barnes, seconded by Commissioner Buchanan, with the understanding that there will be 4 signs: one being the shopping center entrance sign with the exhibits attached indicating what it is, the sign to the west will be 6 feet high, the middle sign will be 10 feet high, and the sign to the east will be 15 feet and if at all possible they are to be built with pylon or monument style bases that the face of the sign will be no greater than 40 square feet as the sign ordinance requires and the shopping center gas station will have a decorative trim on the front and sides of the canopy and the rear of the canopy will remain metal. All members present voting aye, the motion carried.

\* \* \*

At this time Chairman Devoe asked to table the sign ordinance and the Shopping Center Regulations. He stated that he feels the sign ordinance should be postponed until the Georgia Tech study has been completed. Mr. David Bennett suggested holding a special meeting for discussion of these ordinances only. Other members of the commission stated that a lot of work had already gone into this and they feel that it is a mistake to wait on Georgia Tech. They are ready to debate this among themselves and with the public and bring this to a closure. Aldermen Antonow stated that professional services are in the budget that can be used to hire a consultant. Chairman Devoe will find a consultant and report back to the commission at the next meeting. Chairman Devoe appointed Commissioner Baird and Commissioner Lawhead to a working committee on the Shopping Center Regulations.

\* \* \*

There being no further business to come before the commission, the meeting adjourned at 8:20 p.m.



November 24, 1999

Mr. George Rummel  
Director of Planning and Development  
City of Oxford  
107 Courthouse Square  
Oxford, MS 38655

RE: Site Plan Amendment

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If you have any questions, please give me a call. I will have our engineer contact Dave Bennett before our hearing to answer any of his questions.

Thank you

*Charles T. Carter, Jr.*  
Charles T. Carter, Jr.  
Development Manager



February 22, 2000

Mr. George Rummel  
Director of Planning & Development  
City of Oxford  
107 Courthouse Square  
Oxford, MS 38655

**RE: Amended Landscape Plan  
Oxford Marketplace**

Dear Mr. Rummel:

Thank you for your assistance in reviewing our landscape plan.

Per our conversation, our landscape design shall be the same as the enclosed plan. The change to the original design approved by the Planning Commission shall be replacing the Bermuda sod with Hydroseed near the on-ramp from University Dr. to Hwy. 7 north. The area designated for Bermuda sod are shown as such on the enclosed landscape plan.

In accordance with our discussion, this is acceptable to you and meets the City's approval.

Please call me if you have any questions, or if you would like to discuss this in more detail.

Thank you.

Best regards,

A handwritten signature in black ink that reads "Charles T. Carter, Jr." in a cursive style.

Charles T. Carter, Jr.  
Development Manager

cc: Jim Wiggins

enclosure

JDN DEVELOPMENT COMPANY, INC.

359 E. Paces Ferry Road, NE  
Suite 450  
Atlanta, Georgia 30305  
(404) 262-3252  
Fax (404) 262-6543

# ROBERTSON / LOIA / ROOF

A PROFESSIONAL CORPORATION

ARCHITECTS AND ENGINEERS

## Facsimile Transmittal

Project Number: 98.250

Date: June 26, 1998

To: *Ben Smith*

(601)232-2319 Fax

Re: OXFORD, MS., KROGER  
PYLON SIGN

From: Dave Pittard

2 pages transmitted, including cover sheet

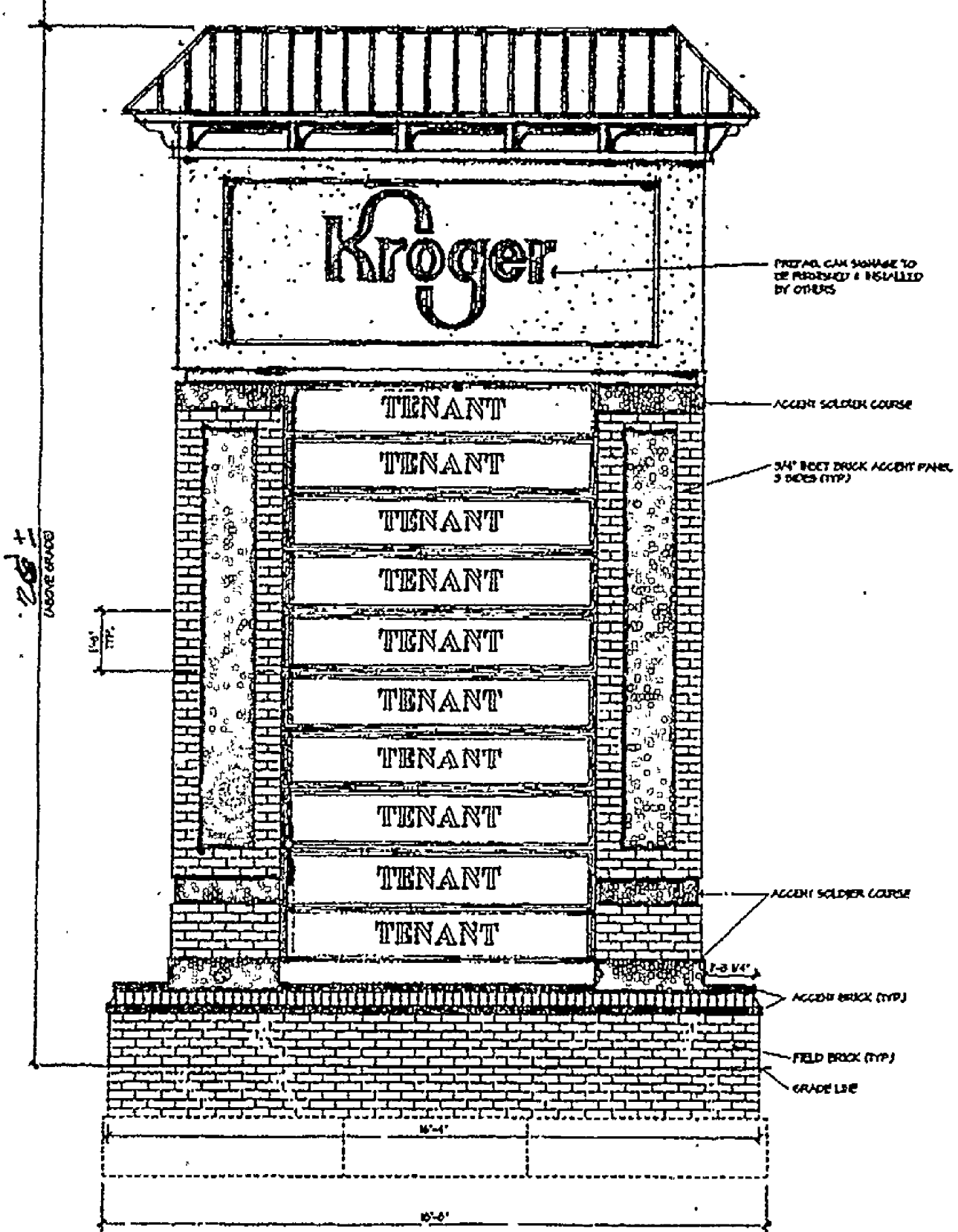
no.	date	description
1	6/26/98	REVISED PYLON PER YOUR (6-25-98) FAX SIGNAGE & E.I.F.S. PATTERN DIMENSIONS

Remarks:

FOR YOUR REVIEW & COMMENTS

Copies to: File

Att: Ben Smith



1 ELEVATION (FRONT)  
PY.1 SCALE: 1/2" = 1'-0"



JDN

FACSIMILE TRANSMITTAL SHEET

DATE: 11/29/99

TO: George Rummel

COMPANY: City of Oxford

FAX NO.: 662-232-2319

FROM: Charles Carter

RE: Oxford marketplace

NUMBER OF PAGES TRANSMITTED 2

COMMENTS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

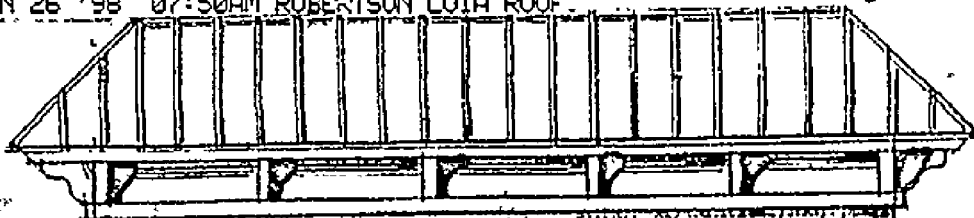
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IF YOU HAVE ANY QUESTIONS CONCERNING THIS FAX OR PROBLEMS  
RECEIVING THIS FAX, PLEASE CALL 404/262-3252

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JDN DEVELOPMENT COMPANY, INC.  
359 F. Paces Ferry Road, NE  
Suite 450  
Atlanta, Georgia 30305  
Phone # 404/262-3252 Fax # 404 262-9543

70



11.9 x 4.9 ALURED = 55.81 EIFS PATTERN

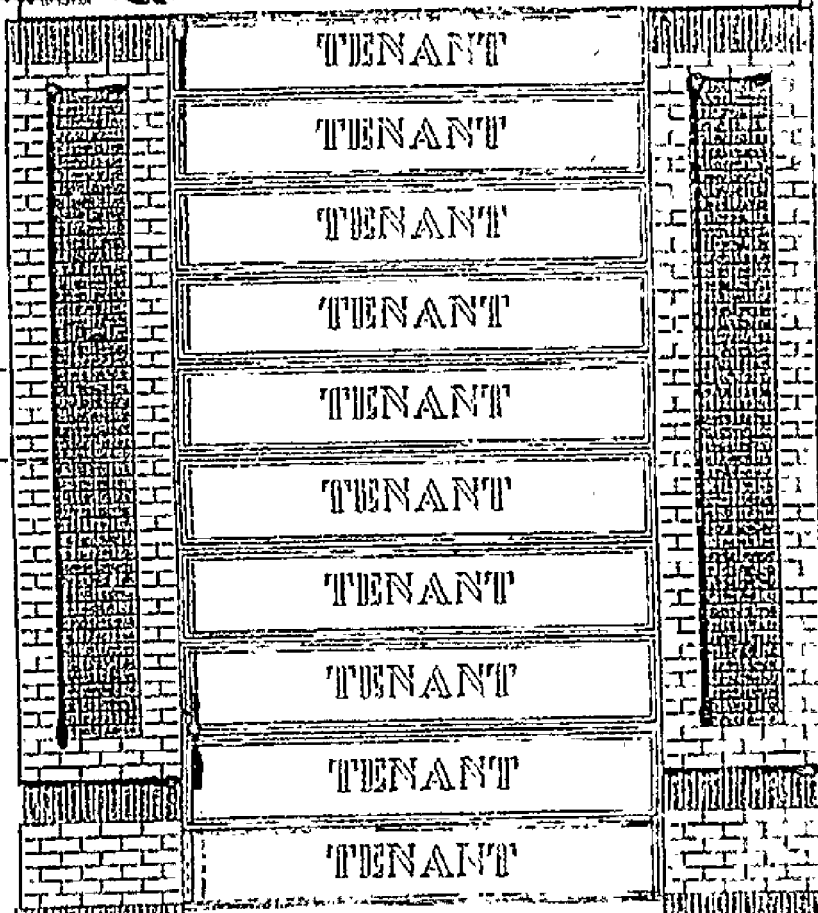
7'-0 x 4'-0 MGNACIE (28.75 SQ FT.)

ACCENT SOLDIER COURSE

1/4" BRICK ORICK ACCENT PANEL 4.0 SQS (TYP)

7 x 1.466 = 9.9152 sq. ca.

	X 10
99.10	
55.81	
154.91	



ACCENT SOLDIER COURSE

ACCENT BRICK (TYP)

FIELD BRICK (TYP)

GRADE LINE

25'-0" 1'-5" TYP

2'-8"

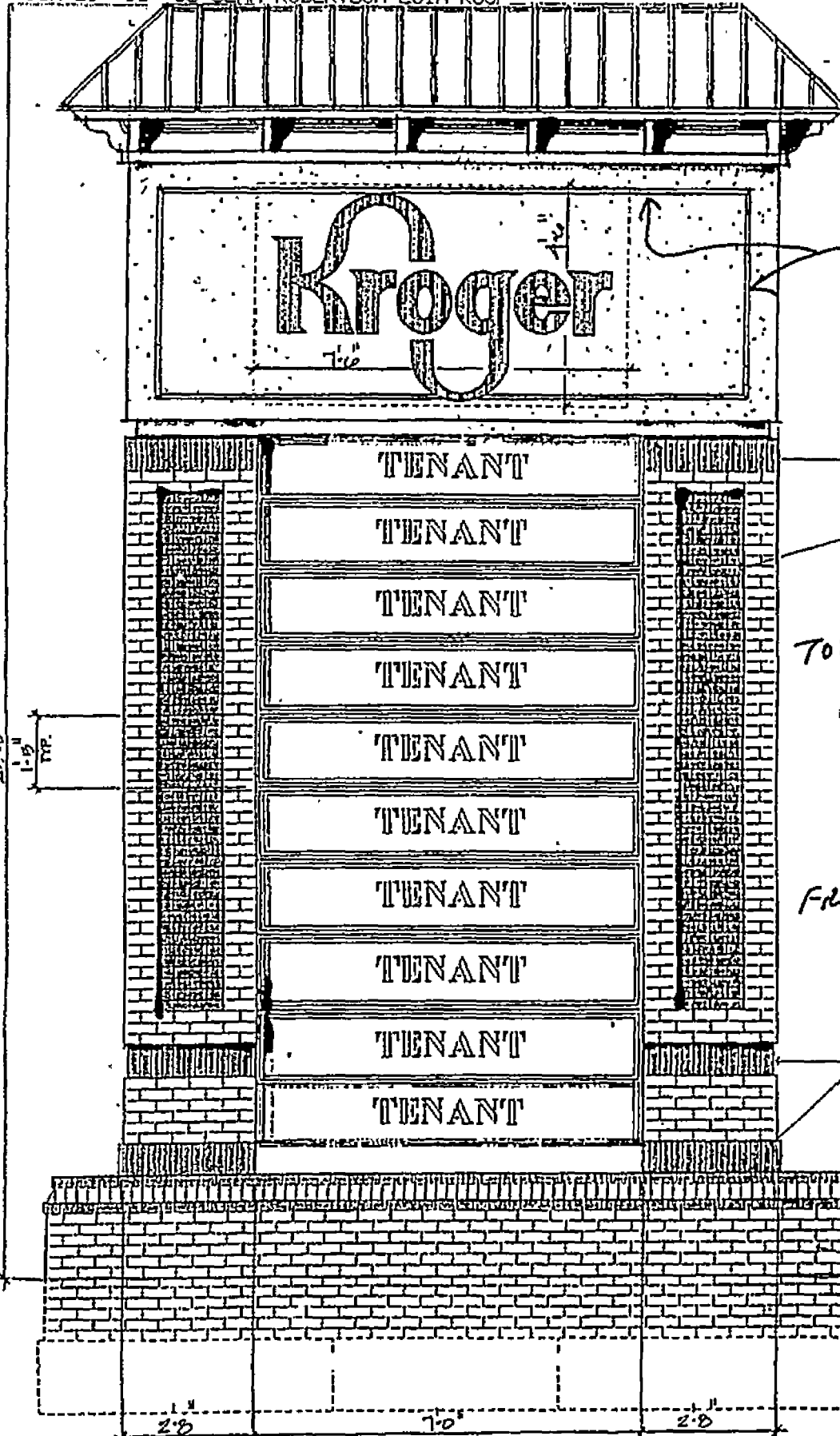
7'-0"

12'-4"

2'-8"



ELEVATION (FRONT)



PLEASE GIVE  
ME THESE  
DIMENSIONS!  
4'-6" X \_\_\_?

ACCENT SOLDIER COURSE  
3/4" BEEF BRICK ACCENT PANEL  
3 SIDES (TYP)

TO: DAVE  
PITTARD  
404-851-7732

From:  
BEN SMITH  
CITY OF OREGON  
601-232-2319

ACCENT SOLDIER COURSE  
ACCENT BRICK (TYP)  
FIELD BRICK (TYP)  
GRADE LINE

12'-4"

1 ELEVATION (FRONT)  
BY

ROBERTSON / LOIA / ROOF  
A PROFESSIONAL CORPORATION  
ARCHITECTS AND ENGINEERS

Facsimile Transmittal

Project Number 98.250

Date June 25, 1998

To: Ben Smith

Re: OXFORD, MS., KROGER  
PYLON SIGN

From: Dave Pittard

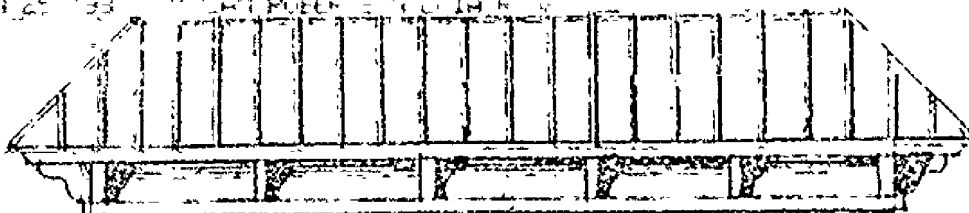
2 pages transmitted including cover sheet

no.	date	description
1	6/25/98	REVISED PYLON TO MEET SIGNAGE 50 FT ± PYLON HEIGHT FOR LOCAL ORDINANCE

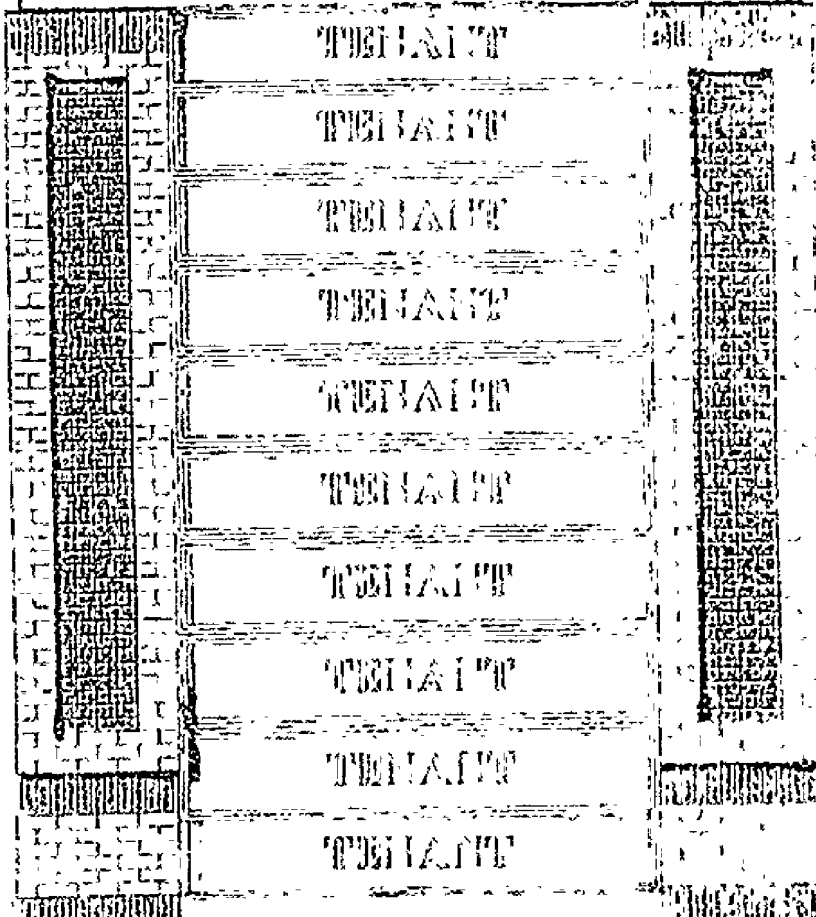
Remarks:

FOR YOUR REVIEW & COMMENTS

Copies to: File



# Kroger



2000 X 1000

1000 X 1000

1000 X 1000

1000 X 1000

1000 X 1000

1000 X 1000

1000

1000

1000

12-4"



FLYING DUTCHMAN

**HOWORTH LAW FIRM, P.A.**

409 NORTH NINTH STREET  
POST OFFICE DRAWER 676  
OXFORD, MISSISSIPPI 38655

ANDREW K. HOWORTH

TELEPHONE (601) 234-0900  
TELEFAX (601) 234-3557

May 7, 1998

Mr. Ben Smith  
City Hall  
107 South Lamar Boulevard  
Oxford, Mississippi 38655

*Re: Kroger Site Plan Approval*

Dear Ben:

Please accept this letter as our request that the site plan approval scheduled for the Kroger application before the Planning Commission on May 11<sup>th</sup> be postponed until the next regular monthly meeting. As I discussed with you on the telephone, there are some final matters to be worked out and some amendments necessary to the site plan which has been submitted to you.

Our intention is to have all of these matters in order and ready for presentation at the June 8<sup>th</sup> meeting.

Thank you for your assistance in this matter. Please let me know if there is any problem with this request.

Sincerely yours,

HOWORTH LAW FIRM, P.A



ANDREW K. HOWORTH

AKH/tb

cc: Mr. Corbin Rowe



**DELTA MARKETING AREA**

800 RIDGE LAKE BLVD. • P.O. BOX 1878 • MEMPHIS, TENNESSEE 38101-1878

May 11, 1998

City of Oxford  
107 Courthouse Square  
Oxford, MS 38655

Re: Board of Aldermen Meeting

Gentlemen:

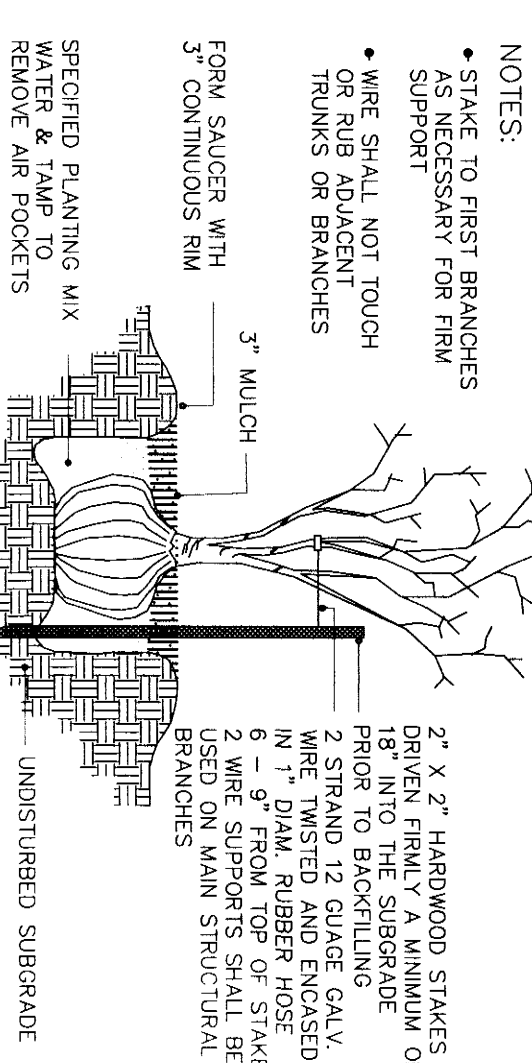
Please remove Kroger from your agenda for the Board of Aldermen meeting tonight, May 11th, 1998. We will reschedule for a future date.

Sincerely,

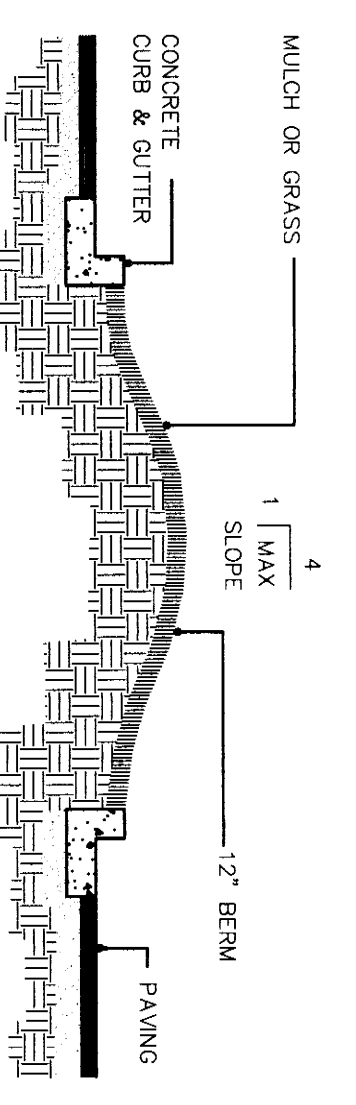
A handwritten signature in cursive script that reads "Bryan Novak".

Bryan Novak  
Facility Engineer

/m



**MULTI-TRUNK TREE STAKING**  
NOT TO SCALE



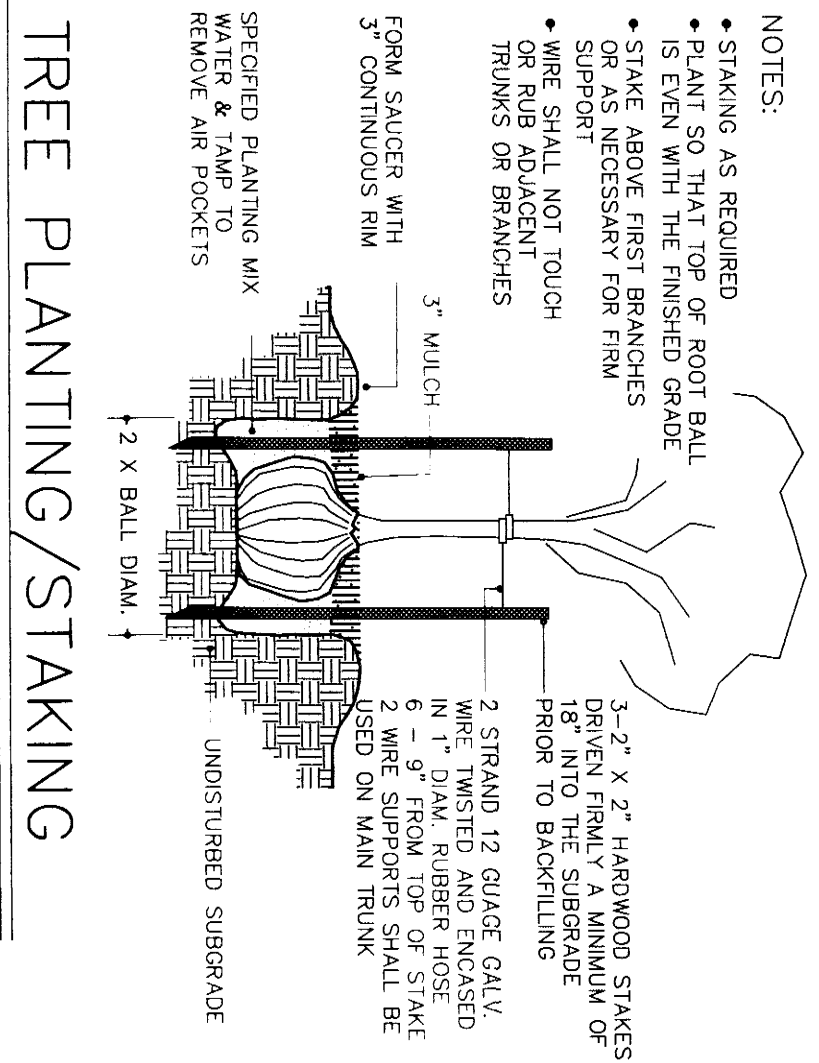
**SECTION AT PARKING ISLAND**  
NOT TO SCALE

**PLANT LIST:**

Qty.	Name	Size	Cond.	Spacing
43	RED MAPLE (ACER RUBRUM)	2" CAL./1/2 HT.	B&B	AS SHOWN MATCHING SPECIMENS
14	TULIP POPULAR (LIRIODENDRON TULIPIFERA)	2" CAL./1/2 HT.	B&B	AS SHOWN MATCHING SPECIMENS
9	PIN OAK (QUERCUS PALUSTRIS)	2" CAL./1/2 HT.	B&B	AS SHOWN MATCHING SPECIMENS
25	MATCHEZ GRAPE MYRTLE (L. INDICA MATCHEZ)	1" CAL. EA. TR./6-8' HT. B&B	B&B	AS SHOWN MULTI-TRUNK/4' CL. TR.
2	TUSCARORA GRAPE MYRTLE (LINDICA TUSCARORA)	1" CAL. EA. TR./6-8' HT. B&B	B&B	AS SHOWN MATCHING SPECIMENS
18	SWEETBAY MAGNOLIA (MAGNOLIA VIRGINIANA)	2" CAL./6-8' HT.	B&B	AS SHOWN MATCHING SPECIMENS
39	VIRGINIA PINE (PINUS VIRGINIANA)	5-6" HT.	CON.	AS SHOWN FULL TO THE GROUND
12	BURFORD HOLLY (ILEX CORNUTA 'BURFORDII')	7 GAL./4' HT.	CON.	AS SHOWN FULL TO THE GROUND
214	DWARF YAUPON (ILEX VOMITORIA NANA)	3 GAL./18" SP.	CON.	3' o.c. FULL

**LEGEND**

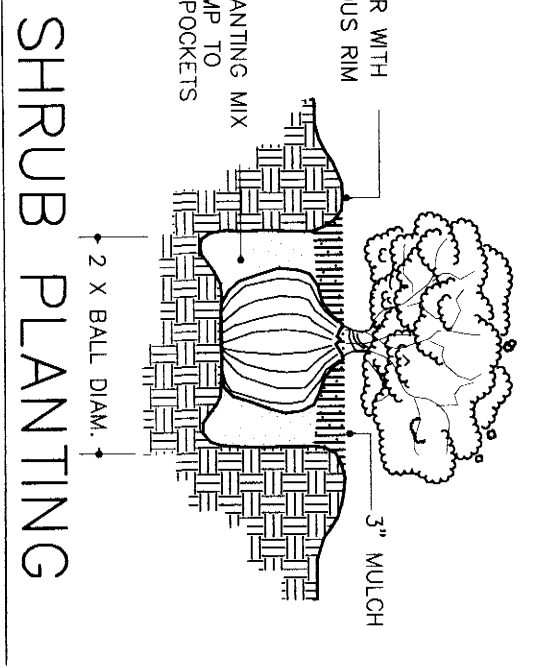
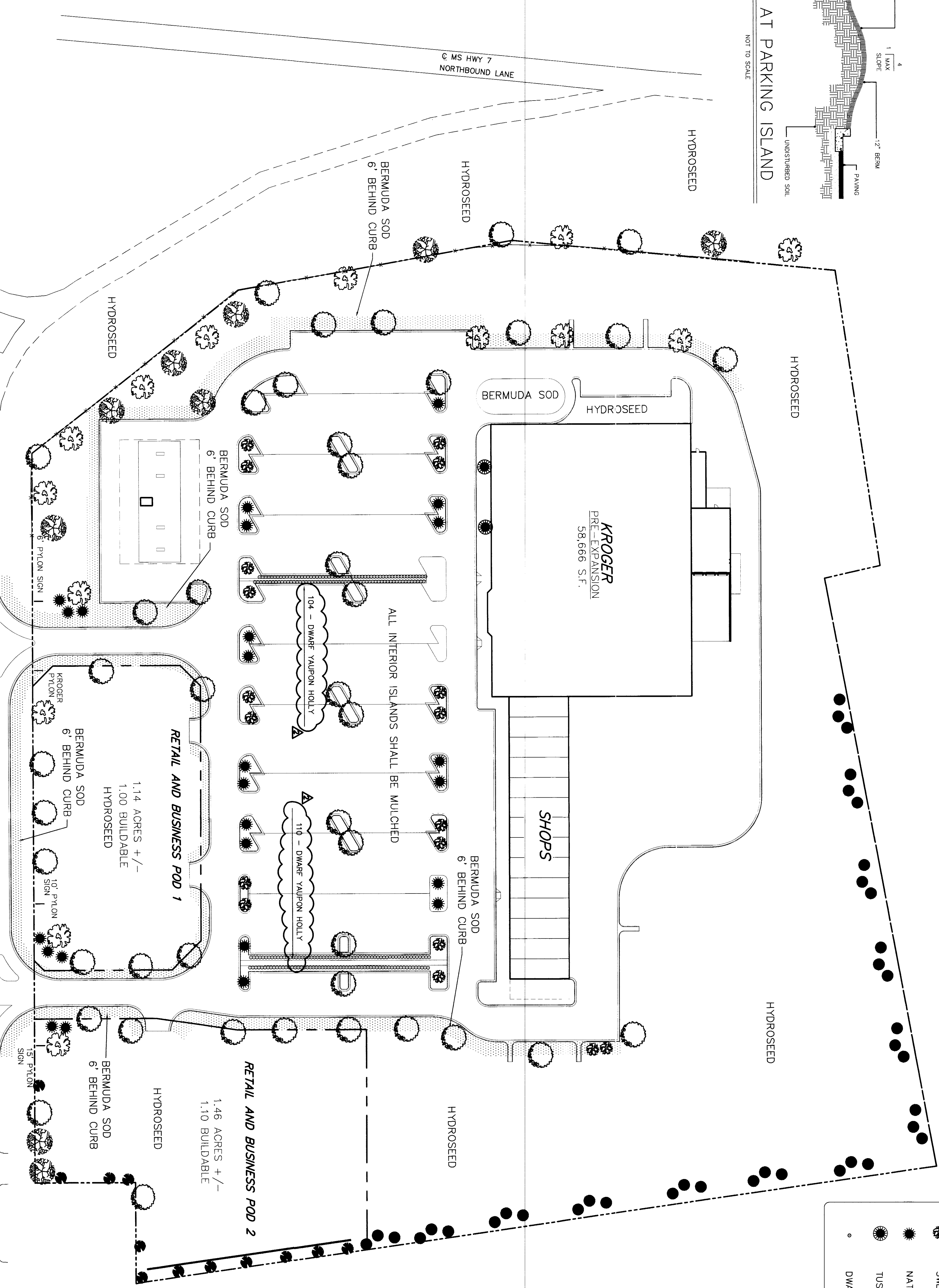
●	VIRGINIA PINE
●	RED MAPLE
●	BURFORD HOLLY
●	PIN OAK
●	TULIP TREE
●	SWEETBAY MAGNOLIA
●	MATCHEZ GRAPE MYRTLE
●	TUSCARORA GRAPE MYRTLE
●	DWARF YAUPON



**TREE PLANTING/STAKING**  
NOT TO SCALE

**LANDSCAPE PLANTING:**  
The landscape contractor shall familiarize himself with the site conditions and verify them to his satisfaction. The landscape contractor shall accept the site conditions and do the work specified without objection for possible variation from grass and conditions shown. Prior to construction the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities located. If any damage to any utilities, he shall make necessary repairs as quickly as practicable without additional compensation. All plant material sizes and measurements, including trunk, head and spread sizes, container and rootball sizes, quality and condition shall conform to the standards set forth in the current issue of American Standards for Nursery Stock (ANSI Z60.1). All plant material are subject to the approval by the owner, and may be inspected at the place of growth or at site before planting. The landscape contractor shall be responsible for maintaining, in full, all landscape planting work (including watering, spraying for insects and diseases, mulching, mowing, fertilizing, cultivating, edging and weeding) during installation and until acceptance by the owner. The landscape contractor shall completely guarantee all landscape planting work and materials for a period of one (1) full year from the date the work and materials are installed. If any plant material or materials are found to be dead or dying prior to the end of the warranty period, the landscape contractor shall be responsible for replacing the same with a new specimen of the same kind and size, at no charge to the owner. The landscape contractor shall be responsible for obtaining soil samples from the site and submitting them to a laboratory for testing. The contractor shall be responsible for obtaining soil testing, laboratory, and obtain analyses and recommendations for amending these soils and fertilization of specified plant material. All planted areas, shrub beds and trees shall be mulched with a minimum mulch depth of three (3) inches of mulch as specified. Prior to mulching apply a pre-emergent herbicide (approved by the owner) as recommended manufacturer, to prevent recurring weed and grass growth. All disturbed areas of the site shall be either grassed or planted immediately after grading in order to prevent soil erosion. A permanent vegetation cover shall be provided throughout all improved areas of the site. Erosion control measures shall be provided throughout the site. Erosion control measures shall be provided throughout the site. Erosion control measures shall be provided throughout the site. Erosion control measures shall be provided throughout the site.

**GRASSINGS:**  
All disturbed areas shall receive 4" minimum of topsoil (compacted) and grassed with seed as indicated on the plan.  
Seeded areas shall be grassed with a mixture of 65% "Trexel" II Fescue and 35% Annual Ryegrass at a rate of ten (10) pounds per 1,000 sq. ft. of grassed area. Seed shall be spread evenly over entire area with an approved broadcast spreader. Seed shall be raked lightly into the top 1/8" of soil at right angles to the wind. Seed shall be watered with a fine spray. All seeded areas shall be mulched with a clean, seed-free, dry hay or straw spread uniformly to form a continuous blanket not less than 1 1/2" loose thickness.  
Fertilization and soil amendments for all grassed areas shall be as per laboratory analysis. Hydroseeding may be substituted for mechanical seed by mixing seed, fertilizer and pulverized mulch in water, using equipment which will apply a homogeneous slurry suitable for hydraulic application. Apply uniformly at a rate as required to obtain specified seeding rate.  
ALL GRASSED AREAS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.  
**SHRUBS AND TREES:**  
All trees located in grassed areas shall be planted as per detail and mulched with at least four (4) foot diameter aged oak hardwood mulch.  
Shrub beds shall be mulched with topsoil 6" - 12" in height. Shrub beds be mulched with aged oak hardwood mulch.  
Trees shall be planted no closer than five (5) feet from back-of-curb LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.  
**STAKING AND LAYOUT OF BUILDINGS:**  
See civil drawings for staking and layout of site elements such as buildings, driveways and parking areas.



**SHRUB PLANTING**  
NOT TO SCALE

**CAUTION-NOTE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE USED AS A GUARANTEE OF THE ACCURACY OF THE FIELD DATA. AS PART OF ALL THE APPROPRIATE UTILITY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES, THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**REVISONS**

NO.	BY	DESCRIPTION	DATE
1	SES	LANSCLAPING ADDED AS SHOWN	10/14/19
2	SES	LANSCLAPING PER LOT REVISION	12/17/20

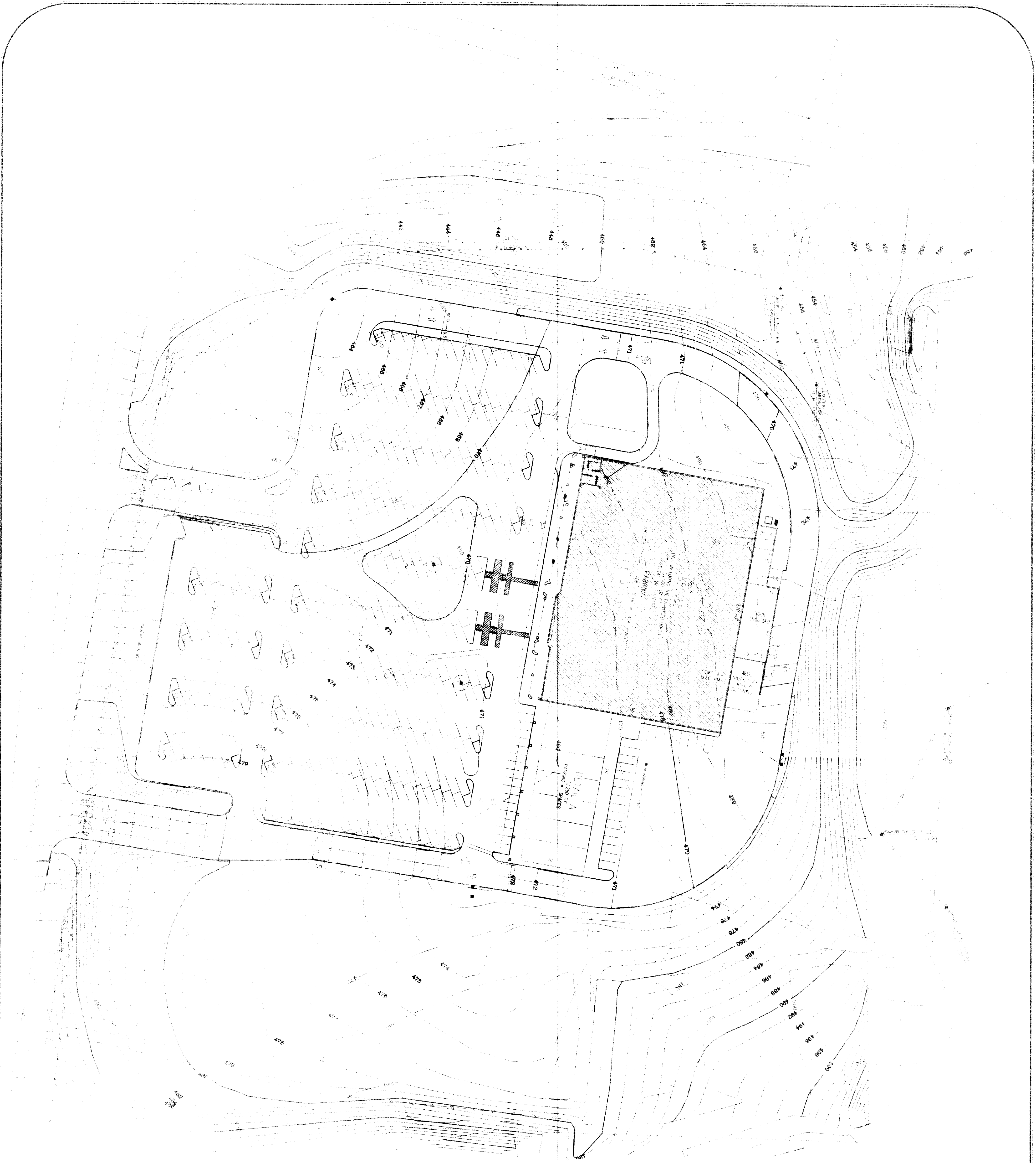
**OXFORD MARKETPLACE**  
MS HIGHWAY 7 AND UNIVERSITY AVE.  
OXFORD, MISSISSIPPI

Drawn by: SES, SES, SES, SES, SES  
Checked by: SES, SES, SES, SES, SES  
Date: 11/20/20

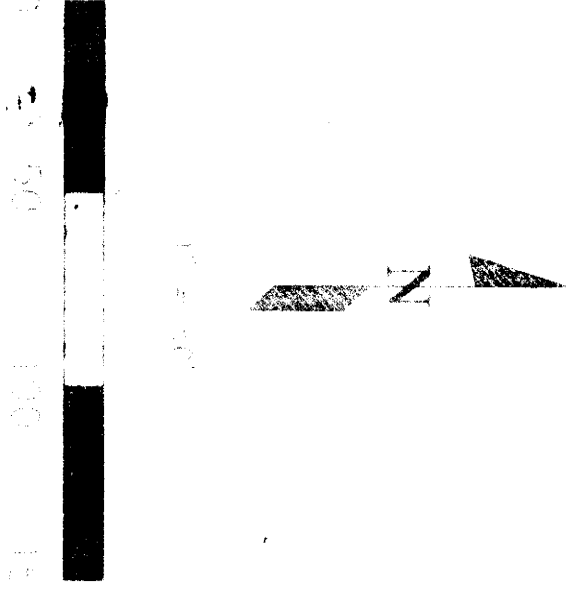


**LANDSCAPE PLAN**  
GRAPHIC SCALE



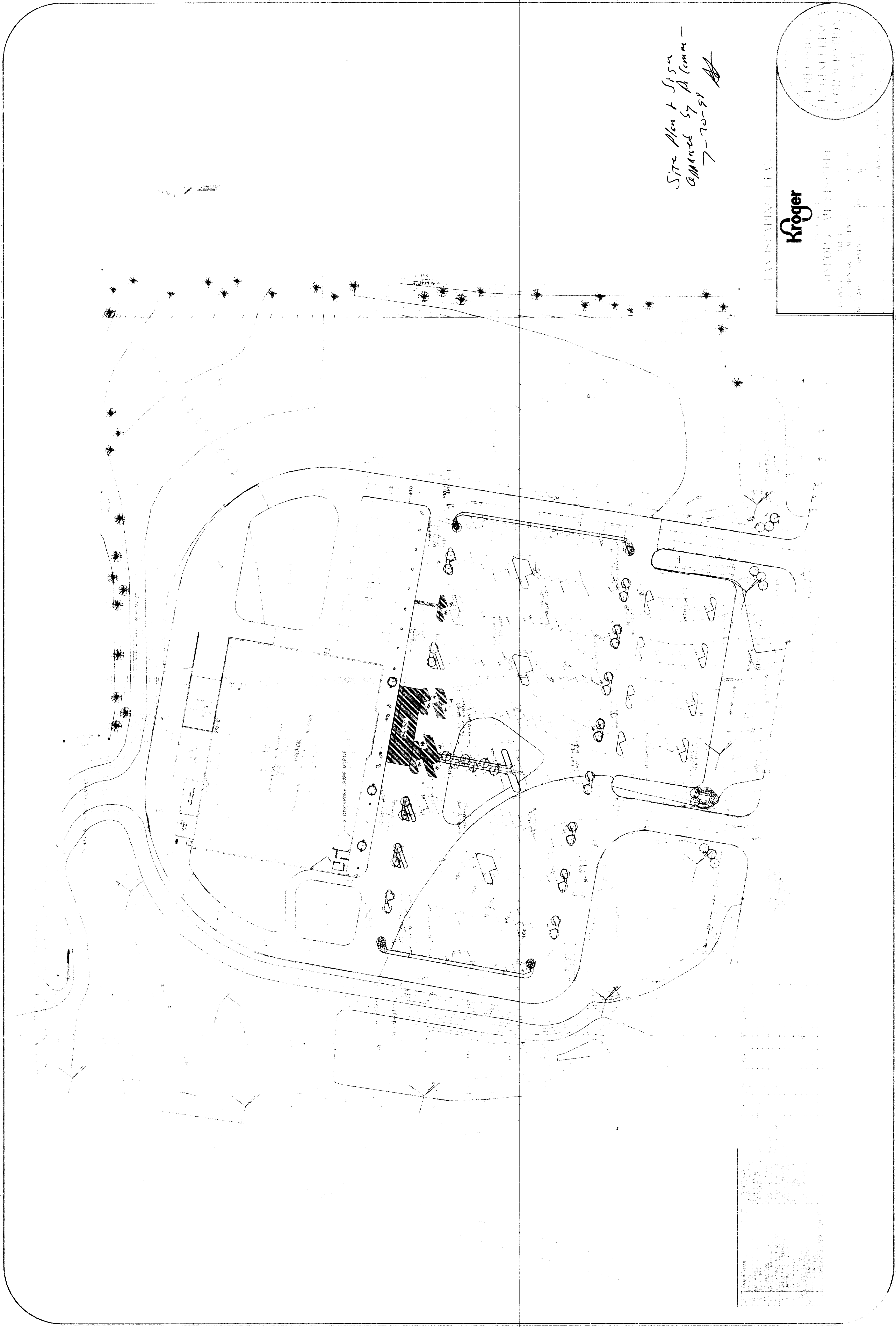


**LEGEND**  
 --- Contour Lines  
 --- Spot Elevation  
 --- Building  
 --- Road  
 --- Stream  
 --- Fence  
 --- Utility Lines  
 --- Boundary  
 --- Other



INVESTIGATION  
 ONIORD MISSISSIPPI  
 THE DRAWING PLAN  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: [Date]

**PROFESSIONAL ENGINEERING CORPORATION**  
 REGISTERED PROFESSIONAL ENGINEERS  
 MISSISSIPPI



Site Plan + Sign  
Approved by A Comm -  
7-20-91

LANDSCAPING PLAN

**Kroger**

LANDSCAPING DEPARTMENT  
1000 WEST 10TH AVENUE  
DENVER, CO 80202

