



## Case 1981

**Applicant:** J.W. McCurdy

**Owner:** Same

**Request:** Site Plan Approval for Riley Cove

**Location:** Anchorage Road, Oxford, MS PPIN# 6707 & 6708

**Zoning:** (RC) Multi-Unit Residential

**Zoning History:** Zoning established in 2004

**Surrounding:** North: (RC) Multi Unit Residential  
South: (RC) Multi Unit Residential  
East: (A) Agriculture  
West: (RC) Multi Unit Residential

**Planner's Comments:** The subject property is an irregularly shaped lot located on the east side of Anchorage Road, measuring approximately +/- 31,948 square feet. The applicant is seeking to construct Riley Cove, which consists of 9 units with a total of 10 bedrooms. The applicant is proposing one point of ingress and egress at Anchorage Road. Additionally, the applicant has provided more parking for this site than what is required by the current parking requirements.

The stormwater management plan for the subject property is still under review by the Public Works Department. Additionally, the applicant will provide the City with an easement for the water line that will require Board of Alderman approval.

**Recommendation:** Approve the site plan for Riley Cove with the following conditions:

1. Approval is contingent on an approved stormwater plan. No permits to be issued prior to approval of that plan.
2. Approval is for the site plan as submitted.



The City  
of  
**Oxford**  
MISSISSIPPI

**DEPARTMENTAL SITE PLAN REVIEW APPLICATION**

Date: \_\_\_\_\_ **1<sup>st</sup> Submission** \_\_\_\_\_ **2<sup>nd</sup> Submission** \_\_\_\_\_ **4<sup>th</sup> Submission** Submittal Fee: \$250.00

Project Name \_\_\_\_\_

Physical Address of Site \_\_\_\_\_

Tax Parcel # \_\_\_\_\_ PPIN # \_\_\_\_\_

Name of Applicant \_\_\_\_\_

Applicant's Address \_\_\_\_\_

Phone # \_\_\_\_\_ Email Address \_\_\_\_\_

Name of Property Owner \_\_\_\_\_

Name of Professional Submitting \_\_\_\_\_

Engineer for Project \_\_\_\_\_ Phone # \_\_\_\_\_

Architect for Project \_\_\_\_\_ Phone # \_\_\_\_\_

**DOCUMENTS REQUIRED FOR SUBMITTAL:**

One full scale (24inx36in) set of complete civil drawings, building elevations and landscaping plan.  
Upload all construction drawings, stormwater report, traffic impact study (if applicable), and other required materials listed below to the City of Oxford's File Drop location

Construction drawing sets must include, but not limited to, the following:

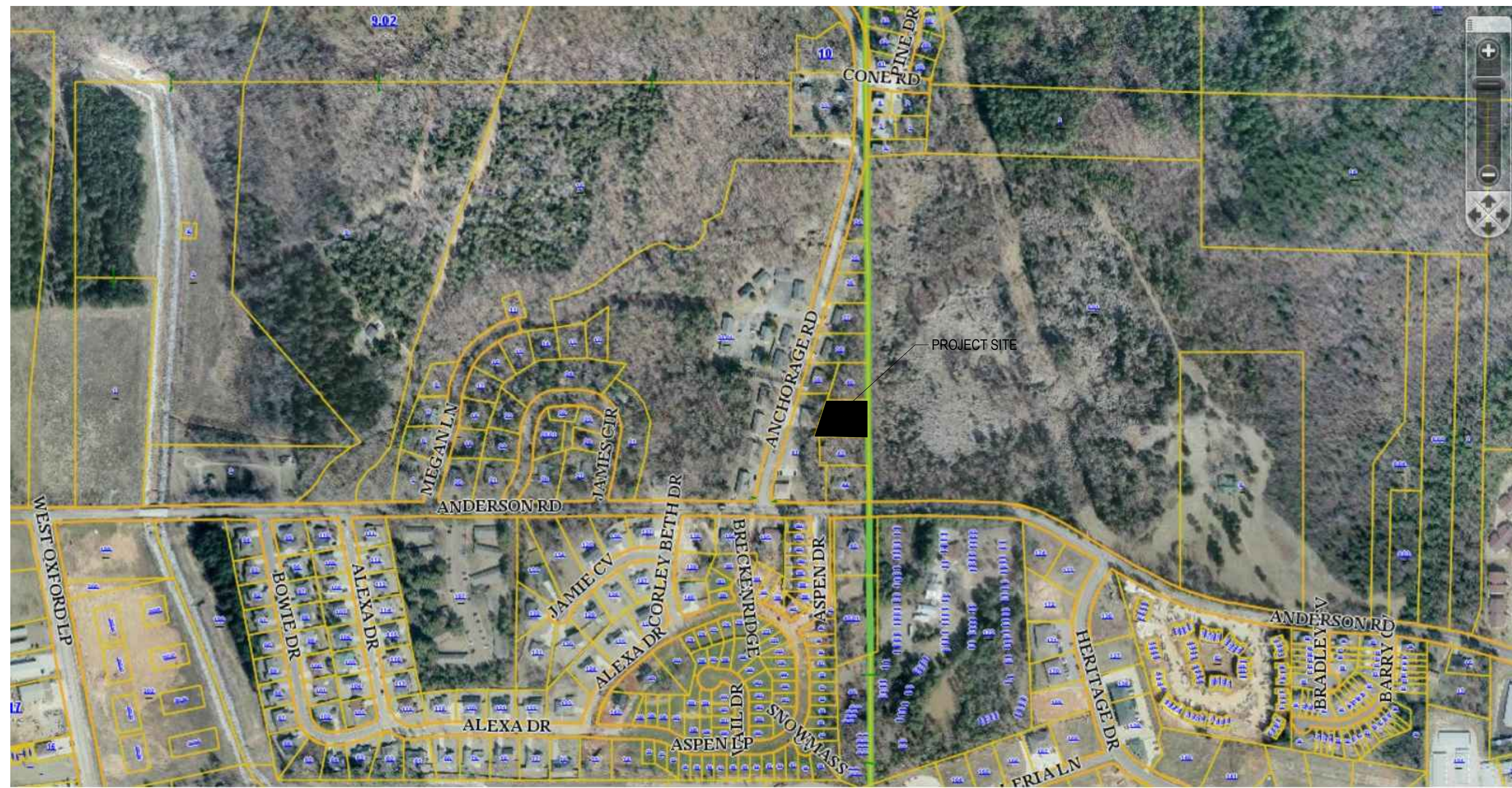
- Aerial view of the site clearly indicating the relationship to the surrounding area
- Indicate location of property of labeling of physical address, zoning of adjoining properties and public or private streets, adjacent property owners
- Site plan to scale, showing property boundaries
- Site elevations – To Scale
- AutoCAD 2010 drawing in State of Mississippi East Zone Foot Plane Coordinates
- Building elevations – including height
- Grading Plan (Erosion Control Measures) and topo
- Setback locations with the exact location of all buildings and structures
- Floodplain Zone location/designation and Elevation Certificate (if applicable)
- Location of all utilities, including electric, gas, water and sewer
- Location of meter, transformers and utility poles. Include amperage, voltage and phases
- Water and sewer mains shall be indicated and the location of all valves, meters, manholes and fire hydrants
- Retention/Detention Plan with stormwater report. (Meeting all requirements of stormwater ordinance approved 7-1-14)
- Retaining wall with heights
- Traffic Impact analysis and plan (if applicable)
- Off street parking spaces and driveways - # of spaces labeled (including handicapped)
- Indicate location of any requested Transit Stops/shelters, if applicable (All transit stops must be approved through OUT Transit)
- Location of all refuse containers or dumpsters
- Existing tree survey, tree mitigation calculations and landscape plan
- Plans for amenities/recreation facilities (if applicable)

[Adhere to 2010 ADA Requirements](#)  
[Adhere to Emergency Management Requirements](#)  
[Adhere to Fire Department Requirements](#)

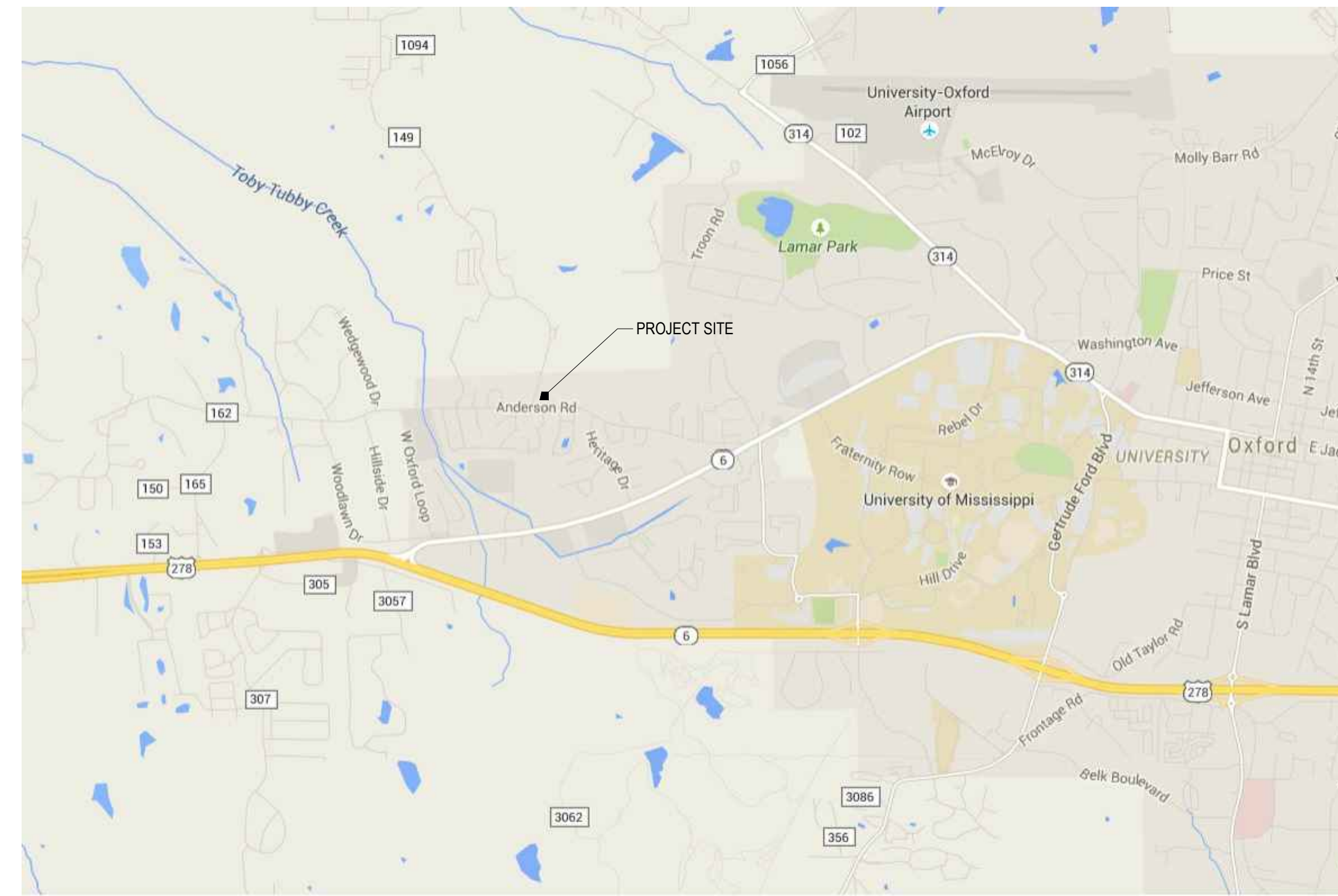
[Adhere to Planning Requirements](#)  
[Adhere to Public Works Requirements](#)  
[Adhere to Solid Waste Requirements](#)  
[Adhere to Transit Requirements](#)

Please note: Applications submitted more than two times may incur additional application fees.

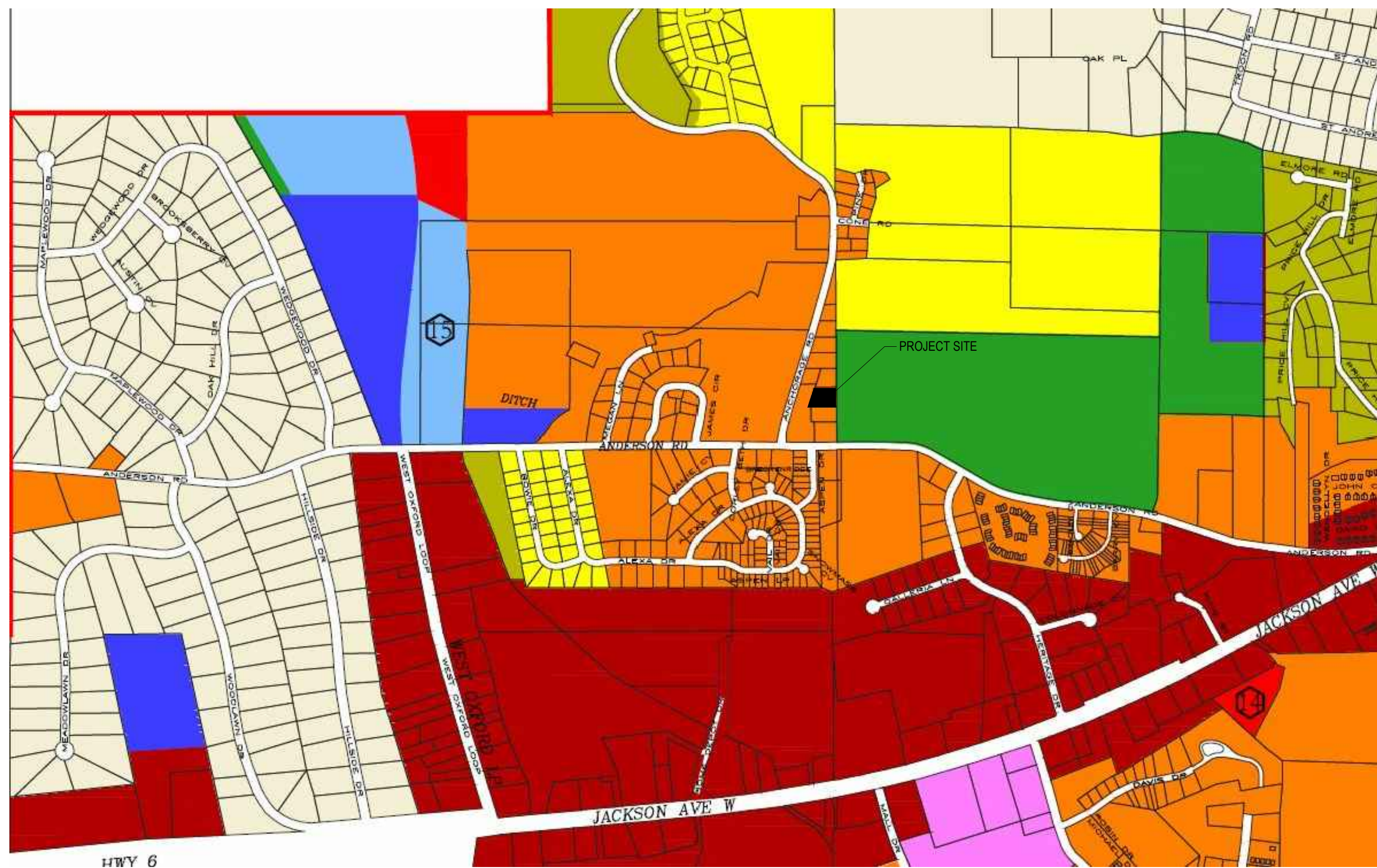
Signature of Owner or Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_



AERIAL PHOTO OF SURROUNDING AREAS



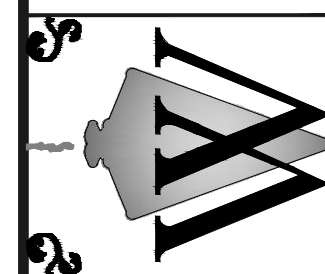
GENERAL MAP OF SURROUNDING AREAS



ZONING MAP OF SURROUNDING AREAS

WILLIAMS ENGINEERING CONSULTANTS, INC.  
Professional Engineers | Professional Land Surveyors

720 NORTH LAMAR BOULEVARD, SUITE A  
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655  
662.238.8676



Site Design For:  
**RILEY COVE**  
Section 24, Township 8S, Range 4W  
City of Oxford, Lafayette County, Mississippi

REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15

Scale: 1" = 30'

Date: 7/7/2014

File: \\Server01\projects\SV\SV-142578

Proj.No.: SV-142578

Drawn By: JRM

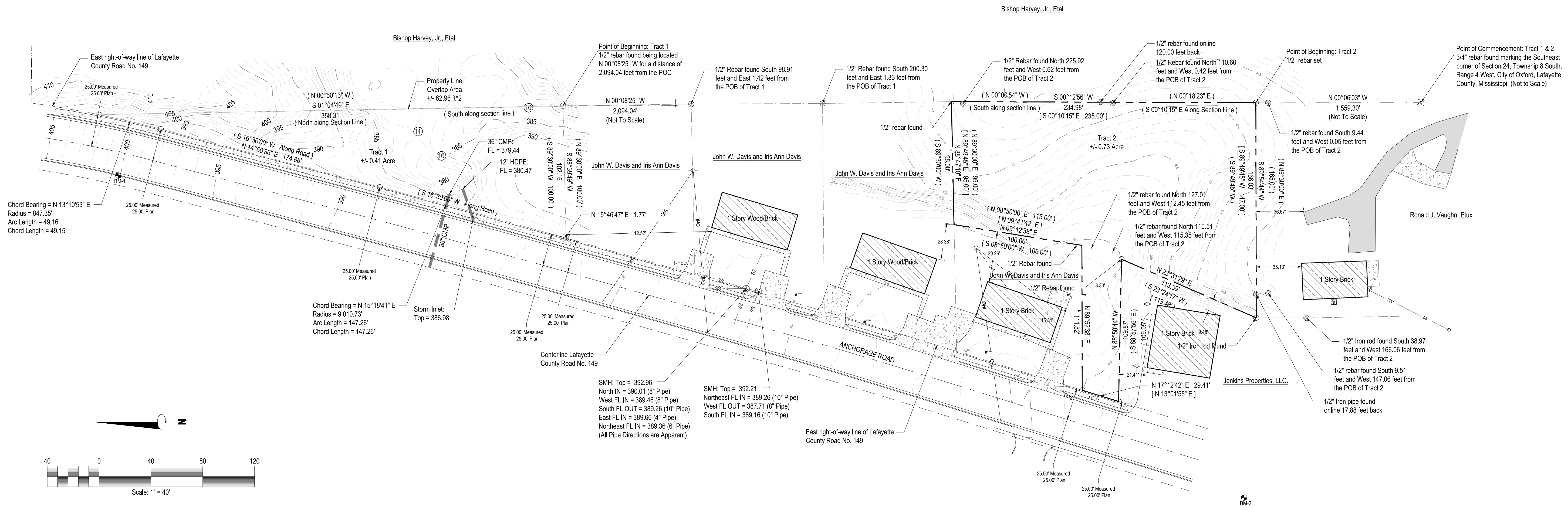
Checked By: JWW

Sheet Title:

Maps

Sheet No.:

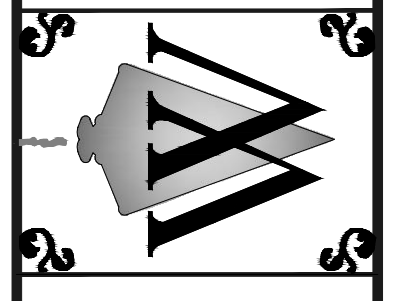
C 8.0



- General Notes**
- 1) IT IS RECOMMENDED THAT SOIL BORINGS BE PERFORMED ON SITE PRIOR TO CONSTRUCTION
  - 2) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED IN UNDERCUT AREAS AND THE UNDERCUT DEPTH MAY BE ADJUSTED AT CROSS DRAINS, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGES.
  - 3) ALL EXISTING UTILITIES OR OTHER OBSTRUCTIONS, WHICH CONFLICT WITH REQUIRED CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE AS AN ABSORBED ITEM.
  - 4) THE EROSION CONTROL DEVICES REFERENCED IN THESE PLANS ARE A MINIMUM REQUIREMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SILT DOES NOT LEAVE THE CONSTRUCTION SITE OR CONTAMINATE WATERS OF THE U.S. DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A "SMALL CONSTRUCTION NOTICE OF INTENT" PERMIT AS REQUIRED BY THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY AND MAINTAIN THE PLAN DURING CONSTRUCTION.
  - 5) EXISTING UTILITIES ON THE DRAWINGS ARE SHOWN IN THEIR ORIGINAL LOCATION BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CAN NOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR MUST COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS (INCLUDING MISSISSIPPI ONE CALL) TO HAVE UNDERGROUND UTILITY LINES LOCATED IN ADVANCE OF CONSTRUCTION.
  - 6) WORK ON STRUCTURES FOR THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF ADJACENT PROPERTIES. THEREFORE, THE RISK OF A FAILURE OCCURRING DURING THE EXCAVATION REQUIRES THAT EXTREME CAUTION BE EXERCISED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE WHAT BRACING, SHORING OR GROUND SUPPORT SYSTEM THAT IS DEEMED NECESSARY TO PREVENT A FAILURE. AND PROTECT THE PERSONS WORKING NEAR THE EXCAVATION, THE PUBLIC THAT MAY BE ABOVE THE EXCAVATION OR ANY STRUCTURE ADJACENT TO THE EXCAVATION. ALL COSTS FOR ANY PROTECTIVE MEASURES, INCLUDING THE MATERIALS AND LABOR FOR DESIGNING, DRAWING AND CONSTRUCTING THE FACILITY, SHALL BE INCLUDED IN THE PRICE BID FOR CONTRACT ITEMS.
  - 7) IN ORDER TO HOLD SILT TO A MINIMUM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, DITCH CHECKS, ETC.)
  - 8) ANY AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR (TO INCLUDE GRASSING AND SITE GRADING) AS DIRECTED BY THE ENGINEER, ARCHITECT OR OWNER. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL FOR DISTURBED AREA UNTIL THEY HAVE BEEN GRASSED AND GROWTH ESTABLISHED.
  - 9) THIS PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MUTCD. OTHER SIGNS AND TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING THE VARIOUS PHASES OF CONSTRUCTION. ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE M.U.T.C.D. (LATEST EDITION).
  - 10) THE CONTRACTOR IS TO REMOVE AND RESET ANY SIGNS WHICH CONFLICT WITH CONSTRUCTION.
  - 11) THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING GRADES AND MAKING ADJUSTMENTS AS NECESSARY WITH THE APPROVAL OF THE PROJECT ENGINEER.
  - 12) TRUNCATED DOMES REQUIRED AT ALL SIDEWALK CROSSINGS. COLOR SHALL MEET SPECIFICATIONS FOR THE CITY OF OXFORD.
  - 13) ALL SPOT GRADES SHOWN ALONG CURB ARE TO TOP BACK OF CURB. GRADES SHOWN IN OTHER AREAS ARE TO FINISHED GRADE.
  - 14) CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.
  - 15) CONTRACTOR SHALL VERIFY ALL SIDEWALKS AND RAMPS MEET A.D.A. REQUIREMENTS.
  - 16) BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY WILLIAMS ENGINEERING CONSULTANTS, INC.

UTILITY COMPANIES NOTIFIED		
Mississippi 811 (E-Locate)	Date Submitted: November 20, 2014	Verification # 14112016260927
TELEPAK DBA C SPIRE FIBER	METROCAST OF MS	CITY OF OXFORD
NORTHEAST MS EPA	CENTERPOINT ENERGY OXFORD	AT&T DISTRIBUTION TUPELO

**WILLIAMS ENGINEERING CONSULTANTS, INC.**  
Professional Engineers | Professional Land Surveyors  
720 NORTH LAMAR BOULEVARD, SUITE A  
P.O. BOX 1197 | OXFORD, MISSISSIPPI 38655  
662.238.9676



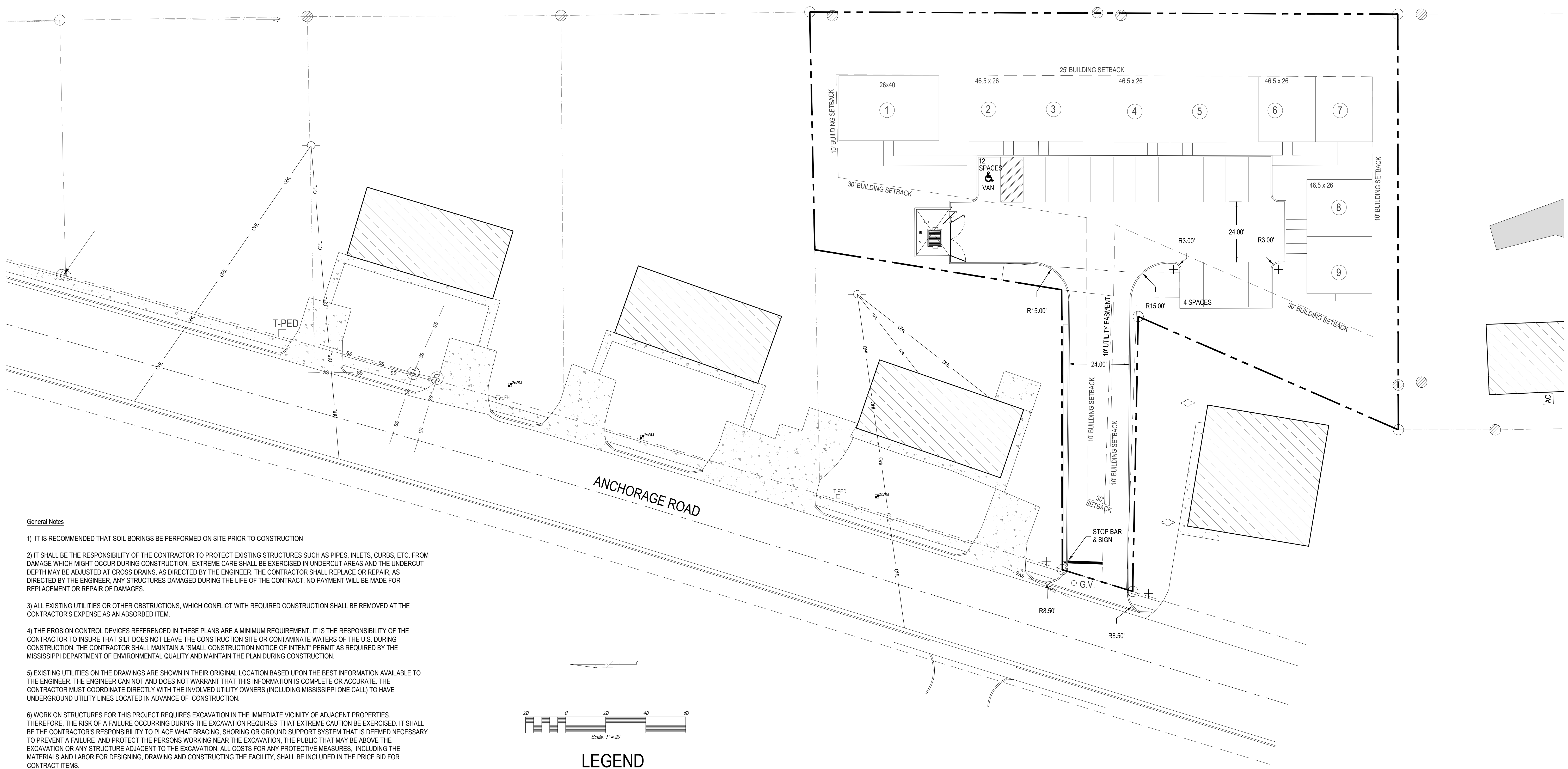
Site Design For:  
**RILEY COVE**  
Section 24, Township 8S, Range 4W  
City of Oxford, Lafayette County, Mississippi

REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15

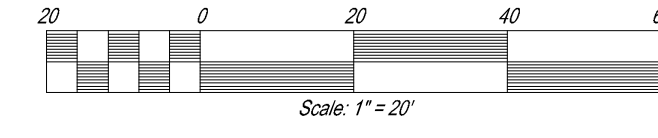
Scale: 1" = 40'  
Date: 01/27/2015  
File: \\Server01\projects\SV\SV-142578  
Proj No.: SV-142578  
Drawn By: JRM  
Checked By: JWW

Sheet Title:  
**Existing Site Conditions**

Sheet No.:  
**C 1.0**



- General Notes**
- 1) IT IS RECOMMENDED THAT SOIL BORINGS BE PERFORMED ON SITE PRIOR TO CONSTRUCTION
  - 2) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED IN UNDERCUT AREAS AND THE UNDERCUT DEPTH MAY BE ADJUSTED AT CROSS DRAINS, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGES.
  - 3) ALL EXISTING UTILITIES OR OTHER OBSTRUCTIONS, WHICH CONFLICT WITH REQUIRED CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE AS AN ABSORBED ITEM.
  - 4) THE EROSION CONTROL DEVICES REFERENCED IN THESE PLANS ARE A MINIMUM REQUIREMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SILT DOES NOT LEAVE THE CONSTRUCTION SITE OR CONTAMINATE WATERS OF THE U.S. DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A "SMALL CONSTRUCTION NOTICE OF INTENT" PERMIT AS REQUIRED BY THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY AND MAINTAIN THE PLAN DURING CONSTRUCTION.
  - 5) EXISTING UTILITIES ON THE DRAWINGS ARE SHOWN IN THEIR ORIGINAL LOCATION BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CAN NOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR MUST COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS (INCLUDING MISSISSIPPI ONE CALL) TO HAVE UNDERGROUND UTILITY LINES LOCATED IN ADVANCE OF CONSTRUCTION.
  - 6) WORK ON STRUCTURES FOR THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF ADJACENT PROPERTIES. THEREFORE, THE RISK OF A FAILURE OCCURRING DURING THE EXCAVATION REQUIRES THAT EXTREME CAUTION BE EXERCISED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE WHAT BRACING, SHORING OR GROUND SUPPORT SYSTEM THAT IS DEEMED NECESSARY TO PREVENT A FAILURE AND PROTECT THE PERSONS WORKING NEAR THE EXCAVATION. THE PUBLIC THAT MAY BE ABOVE THE EXCAVATION OR ANY STRUCTURE ADJACENT TO THE EXCAVATION. ALL COSTS FOR ANY PROTECTIVE MEASURES, INCLUDING THE MATERIALS AND LABOR FOR DESIGNING, DRAWING AND CONSTRUCTING THE FACILITY, SHALL BE INCLUDED IN THE PRICE BID FOR CONTRACT ITEMS.
  - 7) IN ORDER TO HOLD SILT TO A MINIMUM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, DITCH CHECKS, ETC.)
  - 8) ANY AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR (TO INCLUDE GRASSING AND SITE GRADING) AS DIRECTED BY THE ENGINEER, ARCHITECT OR OWNER. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL FOR DISTURBED AREA UNTIL THEY HAVE BEEN GRASSED AND GROWTH ESTABLISHED.
  - 9) THIS PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MUTCD. OTHER SIGNS AND TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING THE VARIOUS PHASES OF CONSTRUCTION. ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE M.U.T.C.D. (LATEST EDITION).
  - 10) THE CONTRACTOR IS TO REMOVE AND RESET ANY SIGNS WHICH CONFLICT WITH CONSTRUCTION.
  - 11) THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING GRADES AND MAKING ADJUSTMENTS AS NECESSARY WITH THE APPROVAL OF THE PROJECT ENGINEER.
  - 12) TRUNCATED DOMES REQUIRED AT ALL SIDEWALK CROSSINGS. COLOR SHALL MEET SPECIFICATIONS FOR THE CITY OF Oxford.
  - 13) ALL SPOT GRADES SHOWN ALONG CURB ARE TO TOP BACK OF CURB. GRADES SHOWN IN OTHER AREAS ARE TO FINISHED GRADE.
  - 14) CONTRACTOR SHALL ENSURE DRAINAGE AWAY FROM BUILDING.
  - 15) CONTRACTOR SHALL VERIFY ALL SIDEWALKS AND RAMPS MEET A.D.A. REQUIREMENTS.



**LEGEND**

— — — — —	RIGHT OF WAY LINES	⊙	WATER FAUCET
— — — — —	PROPERTY LINES	⊙	FIRE HYDRANT
— — — — —	SECTION TIE	⊙	TELEPHONE PEDESTAL
— — — — —	OVERHEAD LINES	⊙	ELECTRIC BOX
— — — — —	UNDERGROUND ELECTRIC LINES	⊙	HDPPE HIGH DENSITY POLYETHYLENE
— — — — —	SEWER LINES	⊙	RCP REINFORCED CONCRETE PIPE
— — — — —	WATER LINES	⊙	UTILITY POLES
— — — — —	UNDERGROUND TELEPHONE LINES	⊙	AIR CONDITIONING UNIT
— — — — —	GAS LINES	⊙	ELECTRIC SERVICE BOX
— — — — —	IRRIGATION WATER LINES	⊙	SPOT ELEVATION
— — — — —	CHAIN LINK FENCE LINES	⊙	BENCHMARKS
— — — — —	RIGHT OF WAY FENCE	⊙	INLET NUMBER
— — — — —	WOOD FENCE LINES	⊙	EOP EDGE OF PAVEMENT
— — — — —	CENTERLINE ROAD	⊙	FL FLOW LINE
— — — — —	SEWER TO BE ABANDONED	⊙	SC SECTION CORNER
MH	SANITARY SEWER MANHOLE	⊙	MC MEASURED CALLS
		⊙	PC PROPERTY CORNERS
		⊙	MF MONUMENTS FOUND
		⊙	POB POINT OF BEGINNING

**BUILDING TABLE**

UNIT	SIZE	SF	BEDROOMS
1	26 x 40	1,040	2
2	23.25 x 26	605	1
3	23.25 x 26	605	1
4	23.25 x 26	605	1
5	23.25 x 26	605	1
6	23.25 x 26	605	1
7	23.25 x 26	605	1
8	23.25 x 26	605	1
9	23.25 x 26	605	1

**PROPERTY INFORMATION**  
 OVERALL PROPERTY = 0.733± ACRES (± 31,948 SF)  
 BUILDING SQ. FT. = ±6,656 (20.8%)  
 GREENSPACE = 16,698 SF (52.3%)

**PARKING INFORMATION**  
 RESIDENTIAL @ 1 PER BED = 10  
 TOTAL REQUIRED = 15 SPACES  
 TOTAL PROVIDED = 16 SPACES  
 HANDICAP SPACES = 1 VAN

1. THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS PER LAFAYETTE COUNTY FLOOD INSURANCE MAP. COMMUNITY-PANEL NUMBER : 28071C0252C. EFFECTIVE DATE: NOVEMBER 26, 2010.
2. BUILDING SETBACKS  
 FRONT - 30'  
 REAR - 25'  
 SIDE - 10'

UTILITY EASEMENT  
 FRONT - 10'  
 REAR - 5'  
 SIDE - 5'

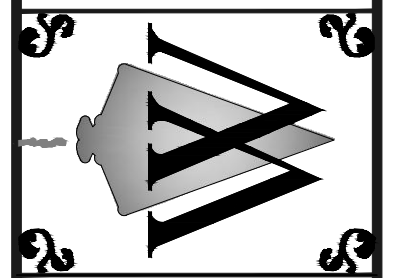
REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15







Scale: 1" = 20'  
 Date: 01/27/2015  
 File: \\Server01\projects\SV\SV-142578  
 Proj.No.: SV-142578  
 Drawn By: JRM  
 Checked By: JWW

Sheet Title:

**Site Layout**

Sheet No.:

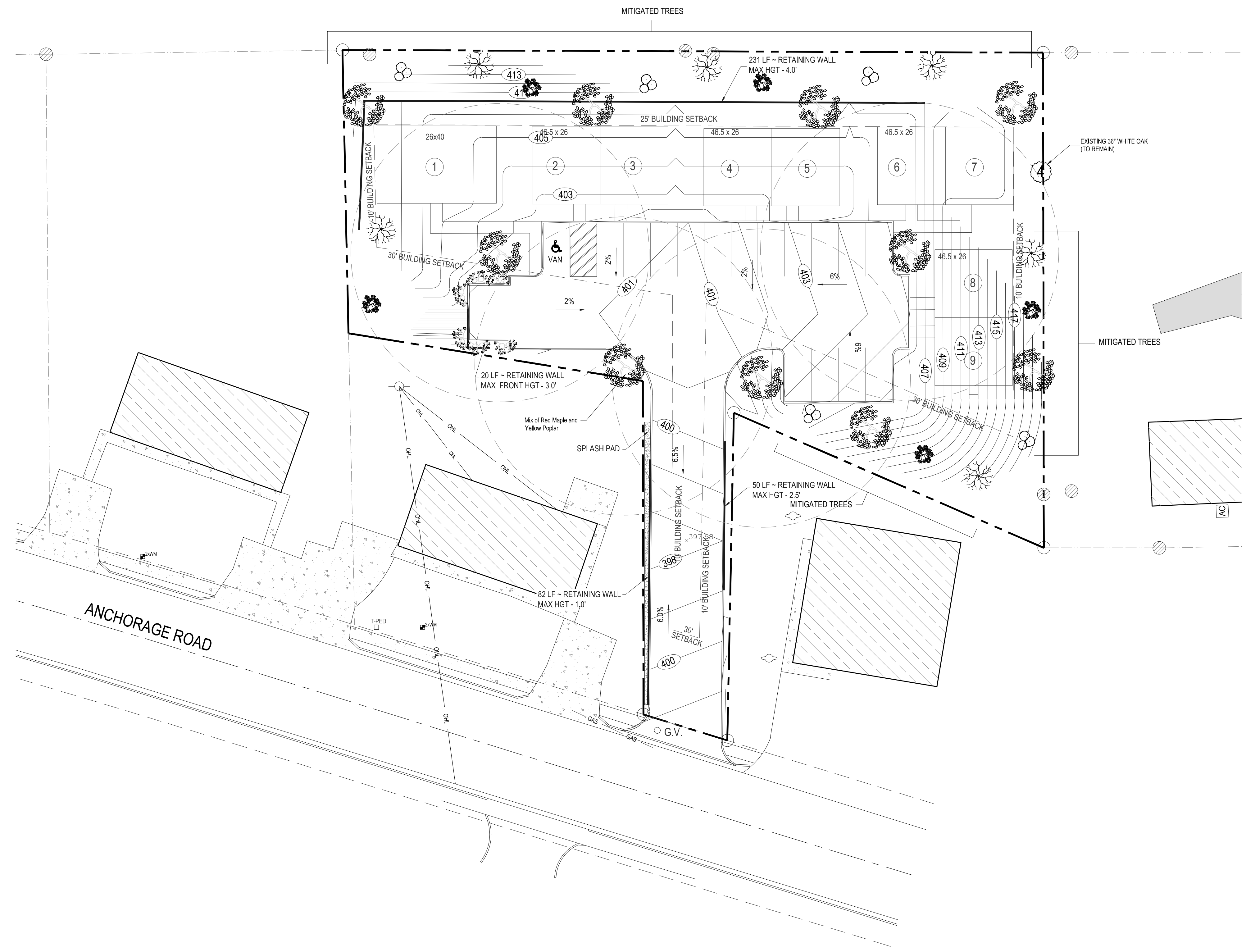


	<b>MIXTURE OF NATIVE OAKS</b> INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SCARLET OAK, SHURWARD OAK, SOUTHERN RED OAK, WHITE OAK
	<b>MISC. NATIVE HARDWOODS</b> INCLUDING BUT NOT LIMITED TO THE FOLLOWING: RED MAPLE, YELLOW POPLAR, SWEETGUM
	<b>MIXED VARIETIES OF FLOWERING TREES</b> INCLUDING BUT NOT LIMITED TO THE FOLLOWING: YOSHINO CHERRY, PURPLE LEAF PLUM, BRADFORD PEAR, SAUSUR MAGNOLIA, EASTERN REDBUD
	<b>MIXED VARIETIES OF DOGWOODS</b> INCLUDING BUT NOT LIMITED TO THE FOLLOWING: FLOWERING DOGWOOD, KOSA DOGWOOD, CHEROKEE CHIEF DOGWOOD, PINK DOGWOOD
	<b>MISC VARIETIES OF SHRUBS &amp; GROUND COVER</b> INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ENGLISH IVY, CREEPING JUNIPER, MONKEY GRASS, DWARF HOLLY, DWARF YARROW, AZALEAS, CAMELLIA, MOCK ORANGE
	Planting Bed

SITELANDSCAPING  
=====

SITE LANDSCAPE NOTES  
=====

- TOPSOIL & MULCH**  
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FILL PLANTING BEDS WITH 4" OF THE BEST AVAILABLE ON-SITE TOPSOIL. IF THE LANDSCAPE CONTRACTOR FEELS THAT MORE ON-SITE TOPSOIL OR OFF-SITE TOPSOIL IS REQUIRED FOR THE LONG TERM SURVIVAL OF THE PLANT MATERIALS, THEN HE SHALL INCLUDE THIS ON HIS PROPOSAL AS AN ALTERNATE.
- TOPSOIL SHALL BE CLEANED AND PULVERIZED AS NECESSARY BY LANDSCAPE CONTRACTOR TO PROVIDE A FINE, EVEN TEXTURED SOIL FOR PLANTING BEDS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FERTILIZER FOR PLANTING BEDS AS REQUIRED.
- LANDSCAPE CONTRACTOR SHALL PROVIDE 2" OF BARK MULCH AT ALL PLANTING BEDS, INDIVIDUAL TREES AND SHRUB GROUPINGS. PRIOR TO MULCHING.
- PLANTING BEDS SHALL BE TREATED WITH A GRANULAR HERBICIDE TO PREVENT WEED GROWTH.
- INDIVIDUAL TREES SHALL HAVE 3' DIAMETER MIN OF MULCH. SHRUB GROUPINGS SHALL HAVE CONTINUOUS MULCH AREA OF 3' MIN WIDTH. ENTIRE AREA OF PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE NOTED.
- PLANT MATERIAL**  
PROVIDE & INSTALL PLANT MATERIAL AS PER MATERIAL SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:
1. WATERING OF ALL PLANT MATERIALS FOR 30 DAYS AFTER COMPLETION OF INSTALLATION. WATERING MAY BE BY IRRIGATION SYSTEM. IF ANY, SITE OR BUILDING WATER LINES; OR IF NECESSARY, BY WATER HAULED ONTO SITE. COORDINATE WITH THE OWNER REGARDING WATERING METHOD.
  2. GENERAL CARE INCLUDING, BUT NOT LIMITED TO, FERTILIZATION, REQUIRED HERBICIDAL OR PESTICIDAL TREATMENTS, PRUNING & WEEDING, FOR 30 DAYS AFTER COMPLETION OF INSTALLATION. THIS SHALL NOT INCLUDE MOWING GRASS OUTSIDE PLANTING BEDS.
  3. CONTRACTOR SHALL COORDINATE WITH THE OWNERS PROPERTY MANAGER FOR LONG TERM MAINTENANCE OF THE PLANTINGS.
  4. LANDSCAPE DESIGNER, LANDSCAPE INSTALLER AND OWNER SHALL ADJUST PLANT MATERIAL TO BETTER BLEND INTO THE NEIGHBORHOOD AND ENVIRONMENT. ALL REPLACEMENT PLANT MATERIALS SHALL MEET OR EXCEED THE CITY OF OXFORD REQUIREMENTS.



BM-2

REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15

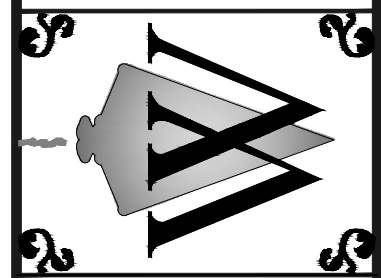
Scale: 1" = 20'  
Date: 01/27/2015  
File: \\Server01\projects\SV\SV-142578  
Proj.No.: SV-142578  
Drawn By: JRM  
Checked By: JWW

Sheet Title:

Landscape Plan

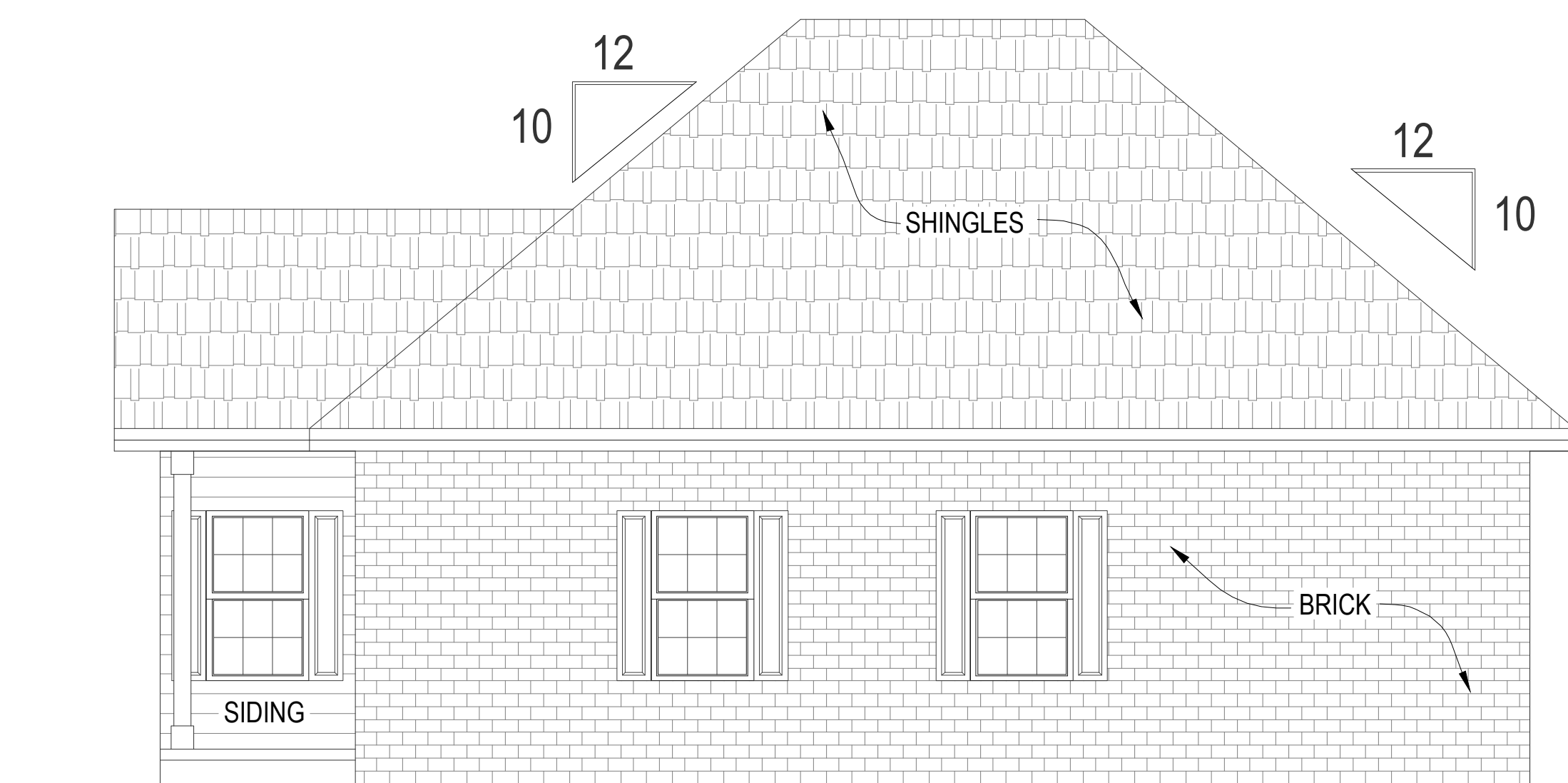
Sheet No.:

C 6.1



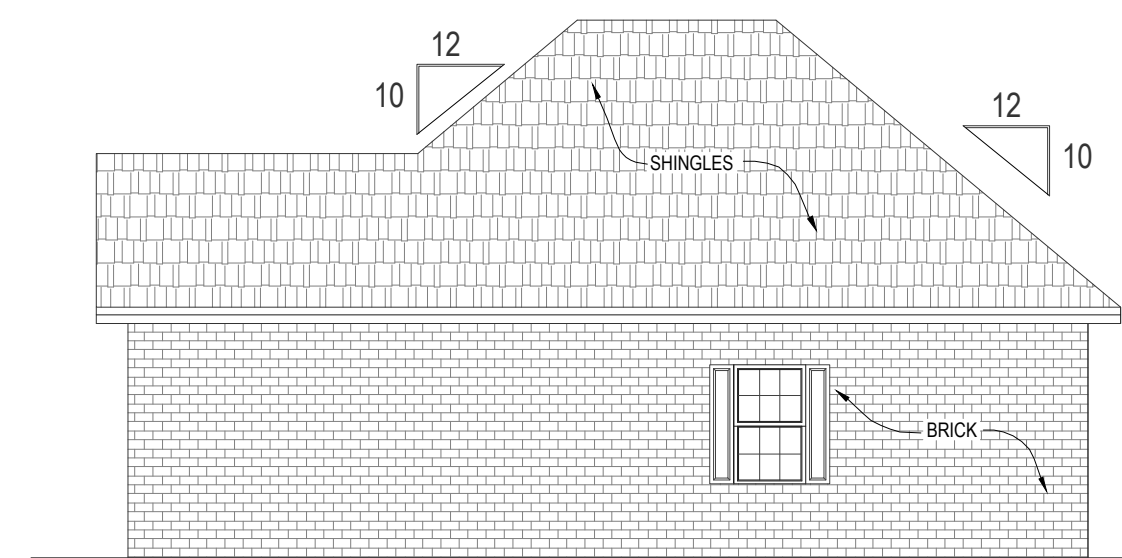
**WILLIAMS ENGINEERING CONSULTANTS, INC.**  
Professional Engineers | Professional Land Surveyors  
728 NORTH LAMAR BOULEVARD, SUITE A  
P.O. BOX 1197 OXFORD, MISSISSIPPI 38655  
662.238.8676

Site Design For:  
**RILEY COVE**  
Section 24, Township 8S, Range 4W  
City of Oxford, Lafayette County, Mississippi

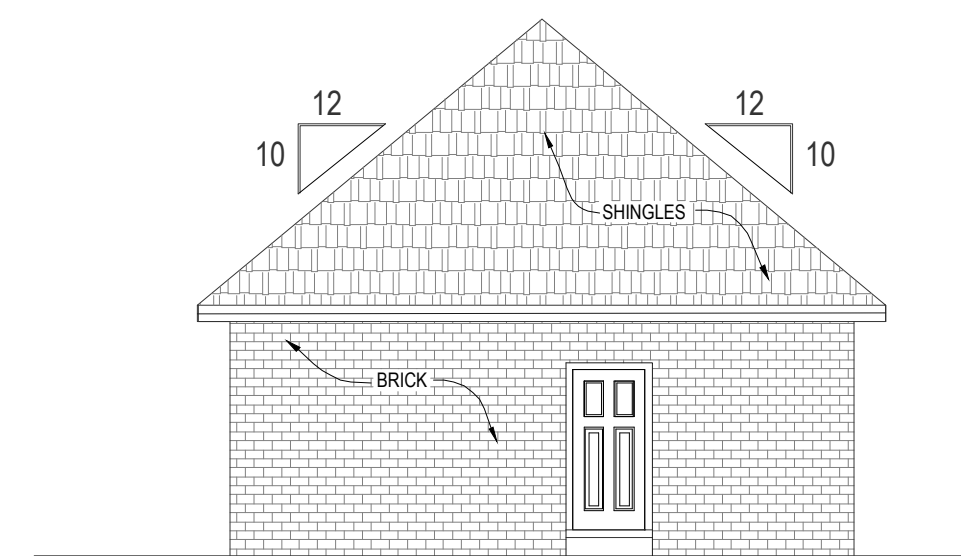


UNIT 1: 2 BEDROOM - FRONT ELEVATION  
NOT TO SCALE

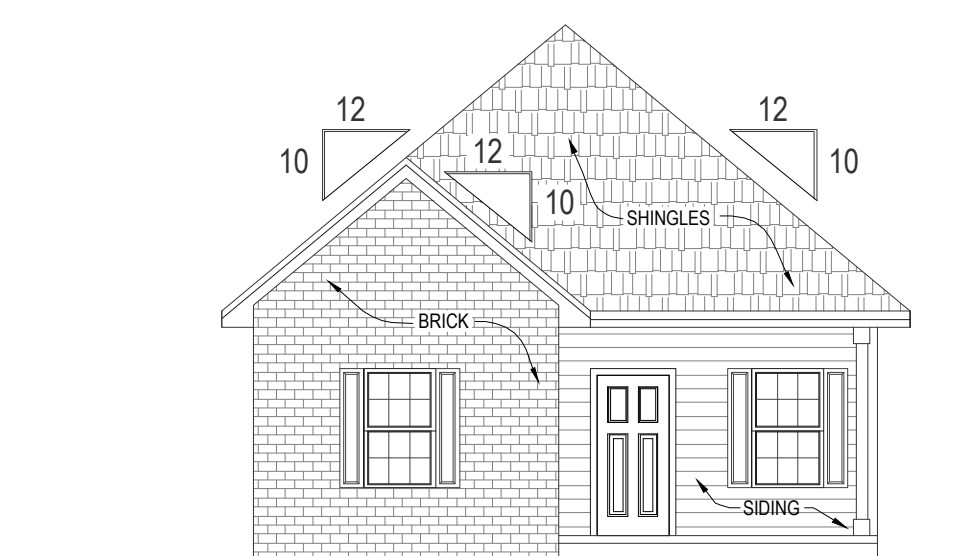
- TOP OF ROOF  
21' - 0"
- TOP OF CEILING JOIST  
8' - 0"
- CEILING HEIGHT  
8' - 0"
- HEAD  
6' - 8"
- TOP OF SLAB  
0' - 0"
- PORCH  
0' - 4"
- PORCH  
-0' - 8"



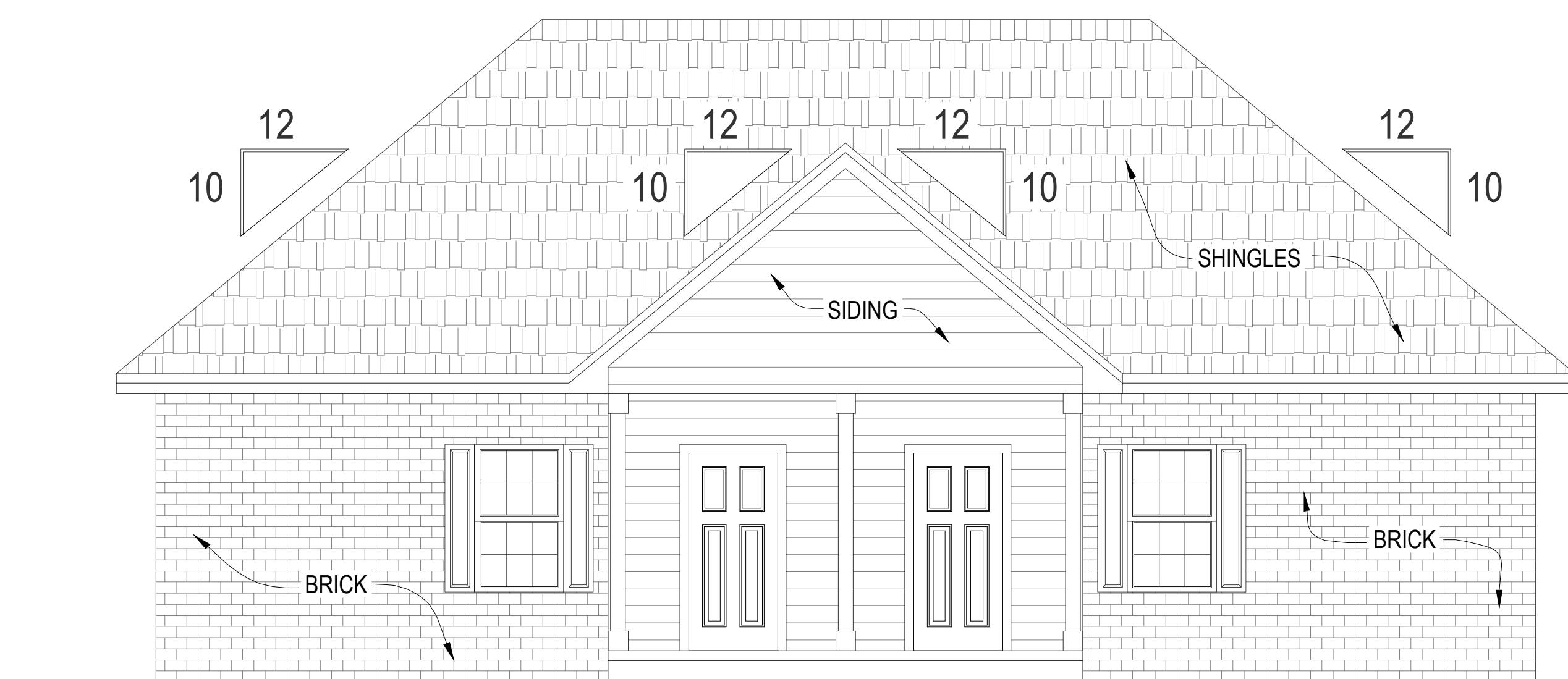
UNIT 1: 2 BEDROOM - REAR ELEVATION  
NOT TO SCALE



UNIT 1: 2 BEDROOM - RIGHT ELEVATION  
NOT TO SCALE

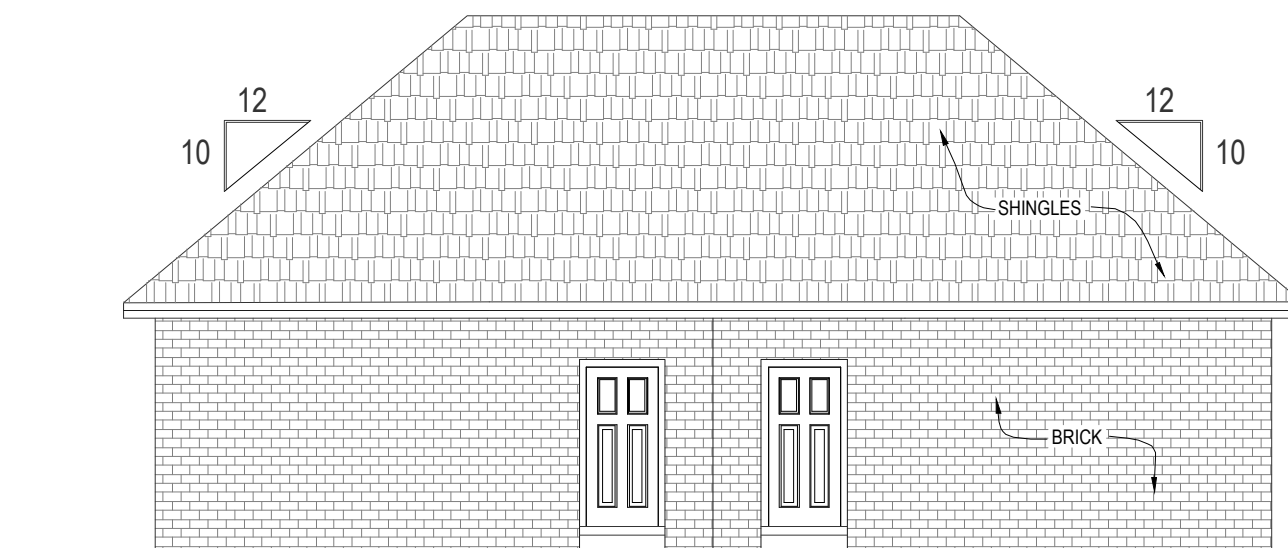


UNIT 1: 2 BEDROOM - LEFT ELEVATION  
NOT TO SCALE

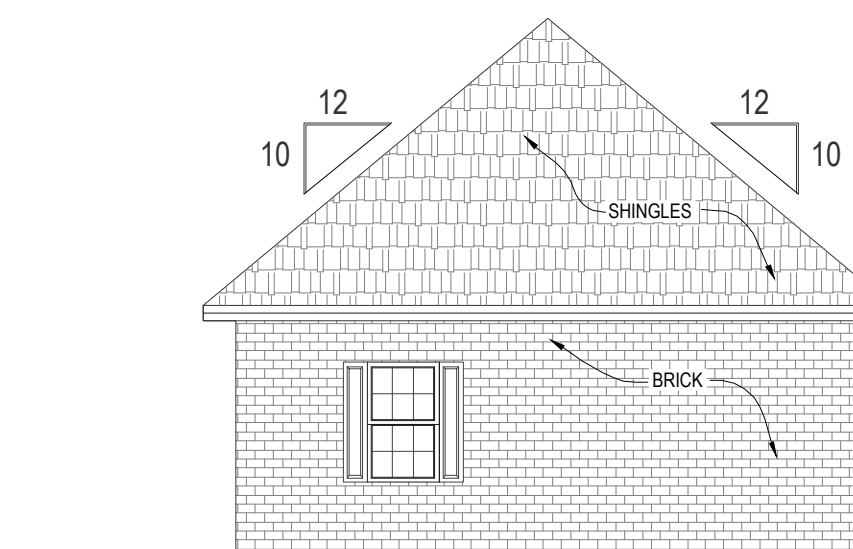


DUPLEX UNITS 2 - 7: 1 BEDROOM - FRONT ELEVATION  
NOT TO SCALE

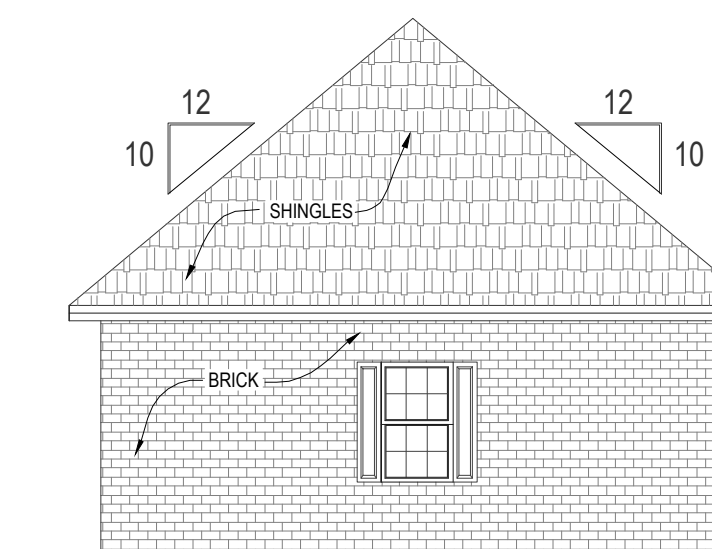
- TOP OF ROOF  
21' - 0"
- TOP OF CEILING JOIST  
8' - 0"
- CEILING HEIGHT  
8' - 0"
- HEAD  
6' - 8"
- TOP OF SLAB  
0' - 0"
- PORCH  
0' - 4"
- PORCH  
-0' - 8"



DUPLEX UNITS 2 - 7: 1 BEDROOM - REAR ELEVATION  
NOT TO SCALE

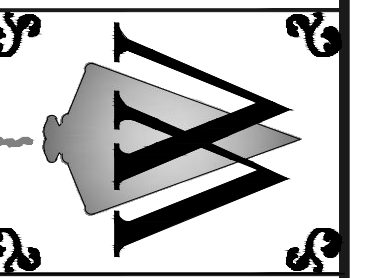


DUPLEX UNITS 2 - 7: 1 BEDROOM - RIGHT ELEVATION  
NOT TO SCALE



DUPLEX UNITS 2 - 7: 1 BEDROOM - LEFT ELEVATION  
NOT TO SCALE

\*ELEVATIONS PROVIDED BY OWNER.  
WILLIAMS ENGINEERING CONSULTANTS, INC IS NOT RESPONSIBLE  
BUILDING DESIGN OR CONSTRUCTION.



REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15

Scale:	NTS
Date:	7/7/2014
File:	I:\Server\01\projects\SV\SV-142578
Proj.No.:	SV-142578
Drawn By:	JRM
Checked By:	JWW

Sheet Title:

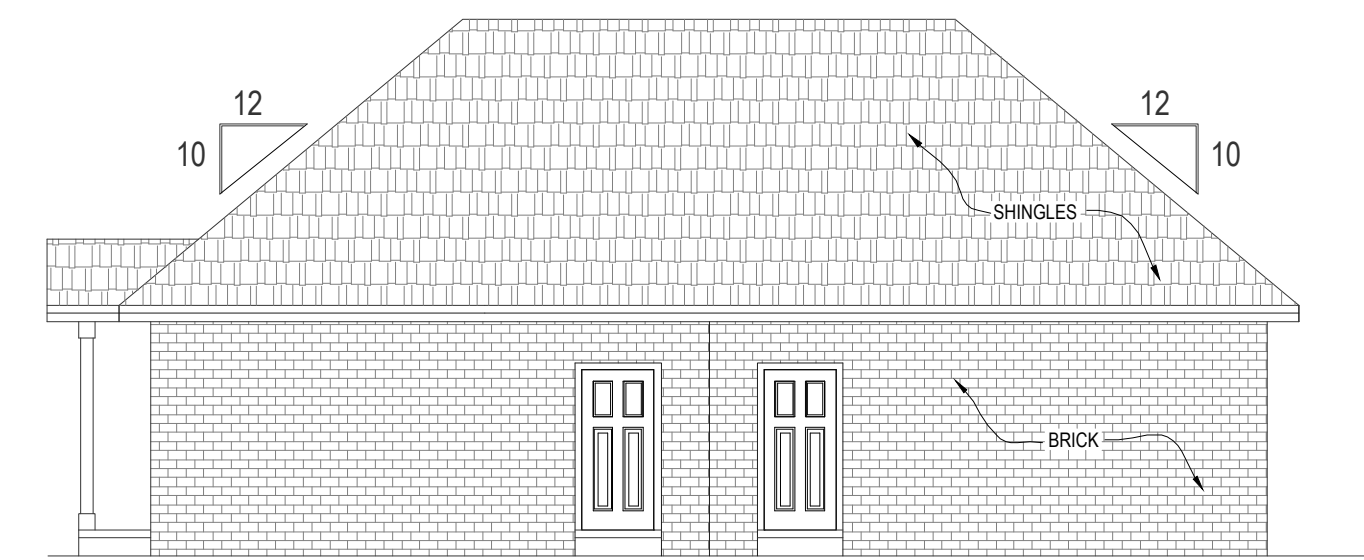
Architectural  
Plans

Sheet No.:

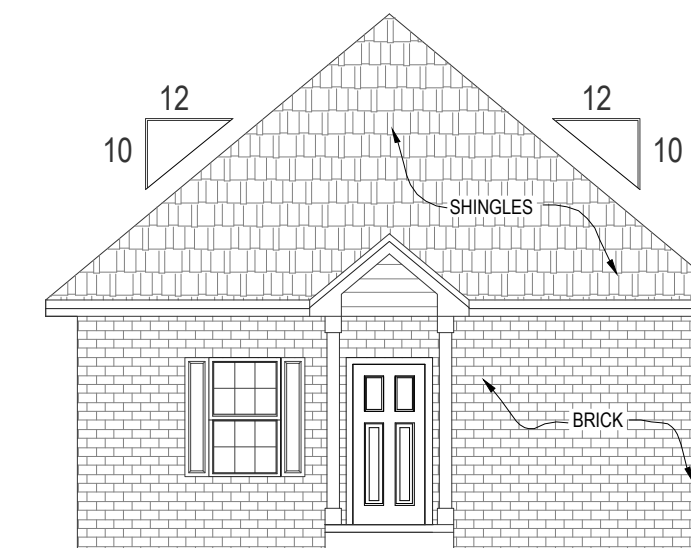


DUPLEX UNITS 8 - 9: 1 BEDROOM - FRONT ELEVATION  
NOT TO SCALE

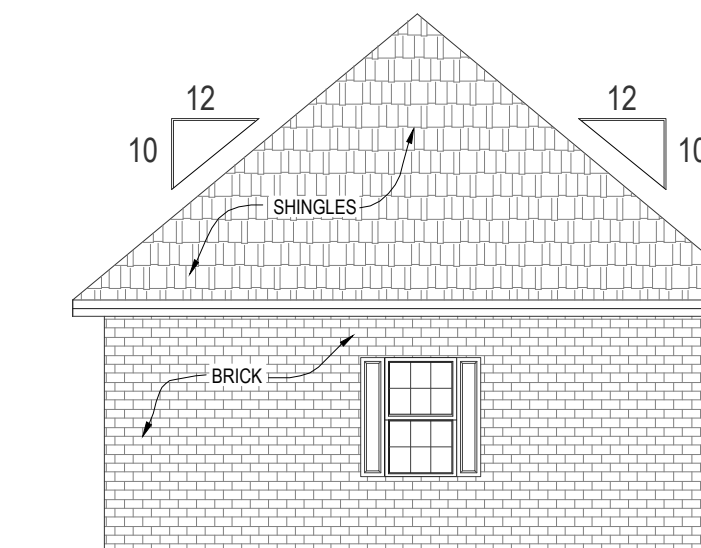
- TOP OF ROOF  
21' - 0"
- TOP OF CEILING JOIST  
8' - 0"
- CEILING HEIGHT  
8' - 0"
- HEAD  
6' - 8"
- TOP OF SLAB  
0' - 0"
- PORCH  
0" - 4"
- PORCH  
-0' - 8"



DUPLEX UNITS 8 - 9: 1 BEDROOM - REAR ELEVATION  
NOT TO SCALE

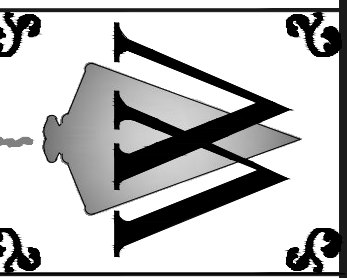


DUPLEX UNITS 8 - 9: 1 BEDROOM - RIGHT ELEVATION  
NOT TO SCALE



DUPLEX UNITS 8 - 9: 1 BEDROOM - LEFT ELEVATION  
NOT TO SCALE

\*ELEVATIONS PROVIDED BY OWNER.  
WILLIAMS ENGINEERING CONSULTANTS, INC IS NOT RESPONSIBLE  
BUILDING DESIGN OR CONSTRUCTION.



Site Design For:  
**RILEY COVE**  
Section 24, Township 8S, Range 4W  
City of Oxford, Lafayette County, Mississippi

REVISION	DATE
City Comments #1	6/25/15
City Comments #2	7/17/15
City Comments #3	7/28/15

Scale:	NTS
Date:	7/7/2014
File:	\\Server01\projects\SV\SV-142578
Proj.No.:	SV-142578
Drawn By:	JRM
Checked By:	JWW

Sheet Title:

Architectural  
Plans

Sheet No.: